

SOURCING EVENT ID No. 0000005616

900 INNES PARK DEVELOPMENT

SAN FRANCISCO RECREATION & PARKS
MARCH 23, 2022



AGENDA & ZOOM PROTOCOL

AGENDA

1. Zoom Protocol
2. Introductions
3. EDP
4. Design Goals
5. Site History
6. Scope of Work
7. Project Schedule
8. Bidder Qualification & Best Value
9. Bid Process
10. City Compliance
 1. CMD
 2. OEWD
 3. OLSE

INTRODUCTIONS

- Recreation & Parks Department
- Design Team:
 - GGN (Landscape Architect)
 - Sherwood Design Engineers (Civil)
 - Jensen Architects (Architect)
- Bid Manager: MCK
- City & County of San Francisco
 - Contract Monitoring Division (CMD)
 - Office of Economic Workforce Development (OEWD)
 - Office of Labor Standards Enforcement (OLSE)

EQUITABLE DEVELOPMENT PLAN (EDP)

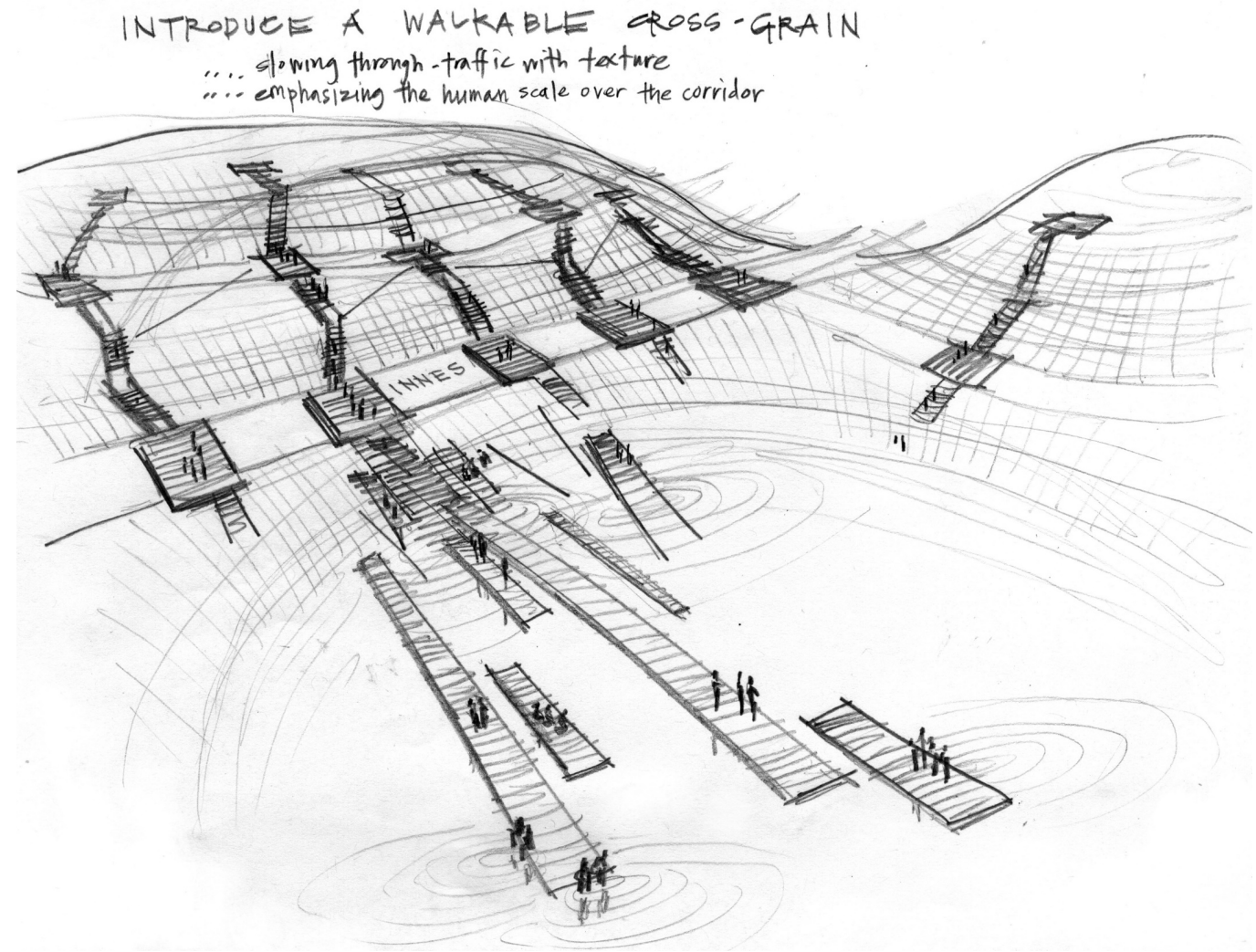
Purpose: To facilitate a community-drafted plan that sets forth a series of transparent strategies and commitments to be honored by the India Basin Park Development



- **Assure** the project serves and represents the **existing community**
- **Proactively support** the existing community to **thrive in place**

DESIGN GOALS

- Access & Connection
- Community Program Needs
- EDP Goals
- Adaptive & Resilient to SLR
- Increase Biodiversity & Interconnectivity through shoreline restoration & native plantings



SITE HISTORY



1969. Photo of Scow Schooner (*Alma*) being repaired at 900 Innes (Courtesy: Maritime Research Center, SF Maritime National Historical Park)



1976. Photo of Shipwright's Cottage (Courtesy: SF Planning Department)

REMEDIATION PHASE



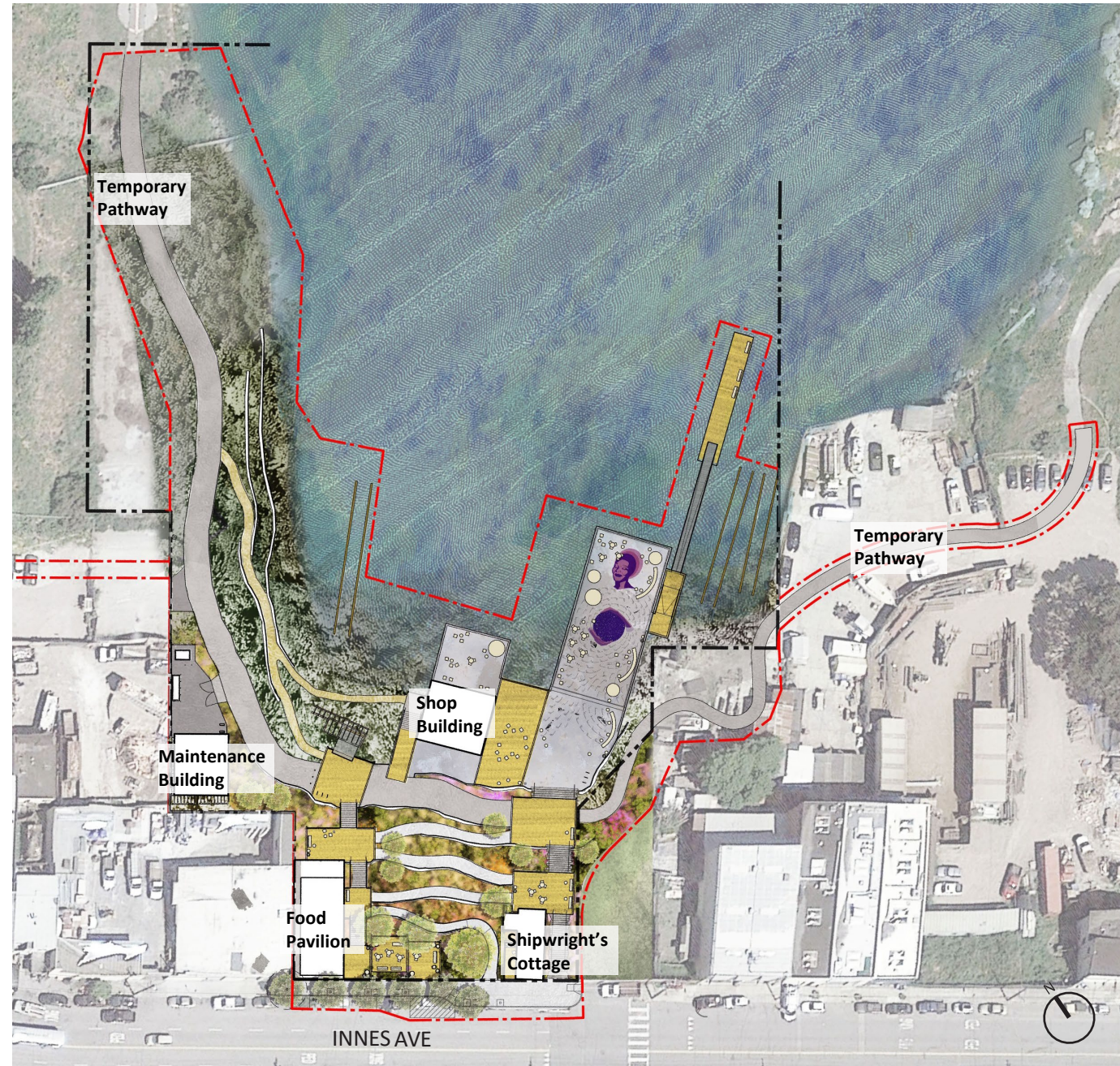
900 INNES PARK

SCOPE OF WORK

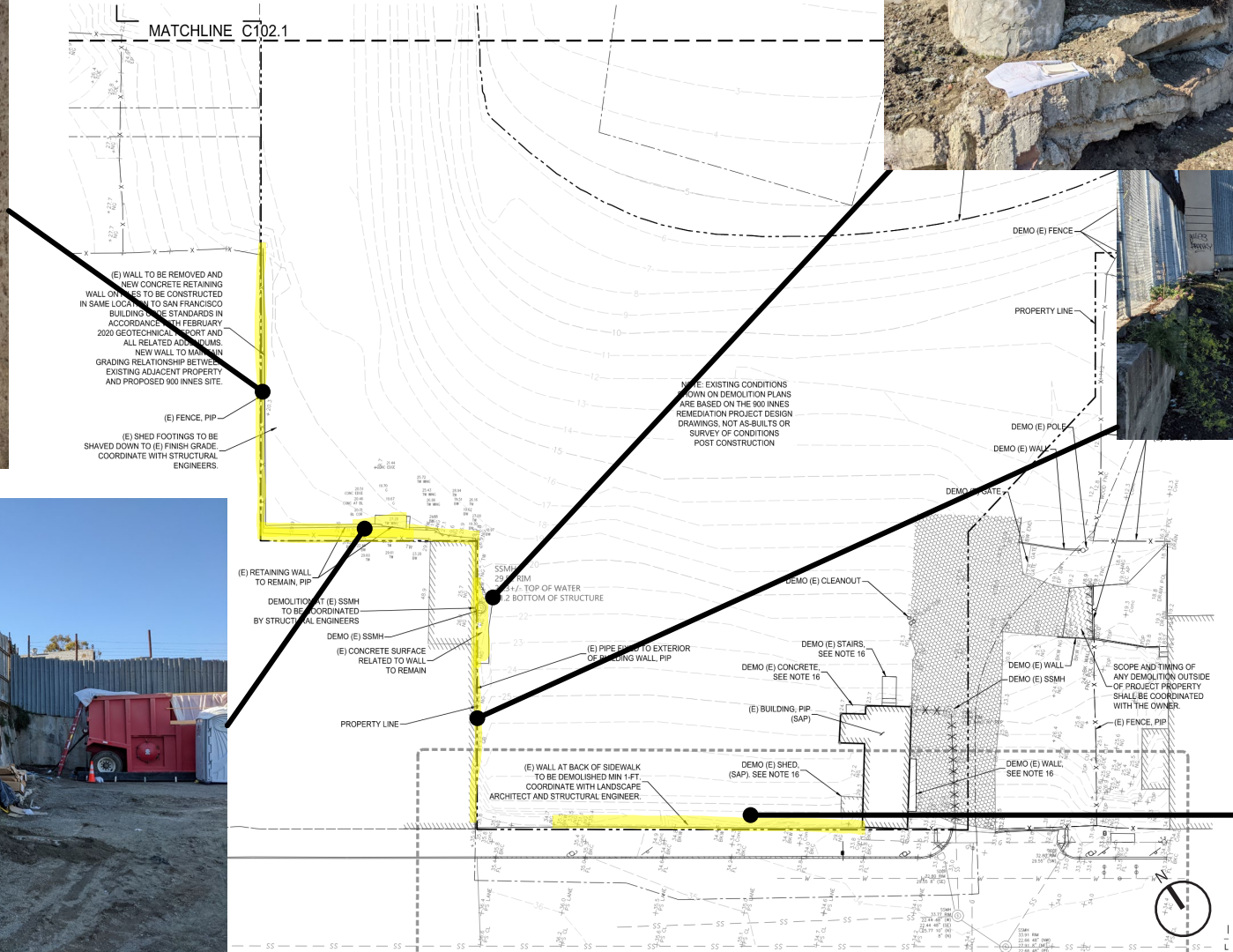
- Existing Conditions/Demolition
- Historic Shipwright's Cottage
- 3 New Buildings
- Site Sourced Materials
- Earthwork
- Utilities
- Piers, Gangway, Dock, and Marine Rails
- Signage
- "Lady Bayview" Art Coordination
- Planting Installation & Maintenance

900 INNES PARK PROJECT OVERVIEW

- All Buildings
- Piers, Gangway, Dock, Rails
- Overlook Terrace
- Wood Decks
- Stairs & Walls
- Street Improvements
- Temporary Pathway



A narrow alleyway between a red container and a concrete wall. The ground is covered in dirt and debris. A white tarp is draped over the top of the red container. A blue tarp is hanging from the concrete wall. A small plant is growing from the top of the concrete wall.



PROJECT ADDRESS: 900 INNES AVE SAN FRANCISCO, CA 94124

ANCHOR QEA

811
Know what's below.
Call 811 before you dig.

**SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS
OFFICE OF THE SUPERVISOR OF PUBLIC WORKS**

REVISIONS

REV	DATE	BY	APP'D	DESCRIPTION
1	6/20/21	M.P.	N.W.	GRADING REVISION

DESIGNED BY: J.L. KENNEDY
DRAWN BY: M. BRASCHNER
CHECKED BY: M. WHELAN
APPROVED BY: S. CAMPBELL
SCALE: AS NOTED
DATE: JUNE 2021

**900 INNES REMEDIATION PROJECT
(VOLUNTARY CLEANUP)**

BACKFILL AND GRADING PLAN

B-1

SEE SHEET G-1 FOR PROJECT DATUM AND SURVEY INFORMATION

LEGEND:

- PROJECT LIMITS
- BACKFILL AND GRADING SURFACE (5' INTERVALS)
- BACKFILL AND GRADING SURFACE (1' INTERVALS)
- COVER MATERIAL PLACEMENT AREAS
- FENCE
- SPECIAL EXCAVATION AREA
- BACKFILL COMPACTION BOUNDARY
- RESTRICTED EXCAVATION AREA (SEE SPECIFICATIONS)
- STRAW WADDLES SPACED DOWNSLOPE AT 15'-FEET ON CENTER. SEE SPECIFICATIONS FOR FURTHER DETAIL.
- NO GRADING

GRADING NOTES:

- LIMIT BOTTOM LENGTH OF EXCAVATION TO NO MORE THAN 20 LINEAR FEET IN PARALLEL WITH THE EXISTING STRUCTURE. LIMIT BOTTOM WIDTH OF EXCAVATION TO NO MORE THAN 20 LINEAR FEET PERPENDICULAR TO THE EXISTING STRUCTURE. BACKFILL AND COMPACT THE OPEN EXCAVATION WITH CLEAN FILL WITHIN 48 HOURS PRIOR TO CONTINUING NEXT ADJACENT 20 LINEAR FOOT EXCAVATION AREA.
- OFFSET FROM PROJECT BOUNDARY TO BE MAINTAINED DURING GRADING.
- OFFSET FROM CHAIN-LINK FENCE TO BE MAINTAINED DURING GRADING. CHAIN-LINK FENCE TO BE PROTECTED IN PLACE.
- OFFSET FROM RETAINING WALL TO BE MAINTAINED DURING GRADING. RETAINING WALL TO BE PROTECTED IN PLACE.
- OFFSET FROM SHIPWRIGHT'S COTTAGE TO BE MAINTAINED DURING GRADING. SHIPWRIGHT'S COTTAGE TO BE PROTECTED IN PLACE.
- OFFSET FROM METAL SHEET FENCE AND RETAINING WALL TO BE MAINTAINED DURING GRADING. METAL SHEET FENCE AND RETAINING WALL TO BE PROTECTED IN PLACE.
- STRAW WADDLES TO BE INSTALLED ON FINAL GRADING SURFACE FOR EROSION CONTROLS. SEE TECHNICAL SPECIFICATIONS.

COVER PLACEMENT AREA CONTROL POINTS

POINT NO.	NORTHING (FT)	EASTING (FT)
1	72773.51	179098.68
2	72754.85	179189.25
3	72684.07	179167.01
4	72685.30	179079.77
5	72741.18	179083.70
6	72748.44	179086.03
7	72814.97	179302.53
8	72923.74	179300.27
9	72813.04	179210.04
10	72611.81	179207.77

GRADING CONTROL POINTS

POINT NO.	NORTHING (FT)	EASTING (FT)
11	72758.01	179077.03
12	72779.77	179044.22
13	72793.61	179003.32
14	72569.82	178983.70
15	72517.96	178884.62
16	72459.95	178831.78
17	72416.13	178888.66
18	72315.22	178834.73
19	72248.70	178928.20
20	72272.07	178940.19
21	72278.58	178945.56
22	72299.29	178953.64
23	72281.10	178977.49
24	72248.00	178954.10
25	72320.10	179012.30
26	72317.87	179115.15
27	72318.15	179167.84
28	72516.81	179305.37
29	72610.23	179198.52
30	72609.28	179020.26

UPLAND AREA (COMPACT BACKFILL LANDWARD OF BACKFILL COMPACTION BOUNDARY). REFER TO TECHNICAL SPECIFICATIONS FOR COMPACTION REQUIREMENTS

TIDALLY INFLUENCED AREA (NO COMPACTION REQUIRED BAYWARD OF BACKFILL COMPACTION BOUNDARY)

CHAIN-LINK FENCE

COVER MATERIAL PLACEMENT AREAS

TEMPORARY WATER BARRIER

BACKFILL COMPACTION BOUNDARY

PROJECT LIMITS

GRIFFITH STREET

NO GRADING IN THIS AREA

SCALE IN FEET

ONE INCH = ONE HUNDRED FEET



SHIPWRIGHT'S COTTAGE

- City of San Francisco Landmark
- SOI Rehabilitation Standards
- Historic Preservation Plans
- Historic treatment work & mockup requirements in Specs
- Hazardous materials remediation – wood & window repair
- Replication items – decorative barge board & historic windows



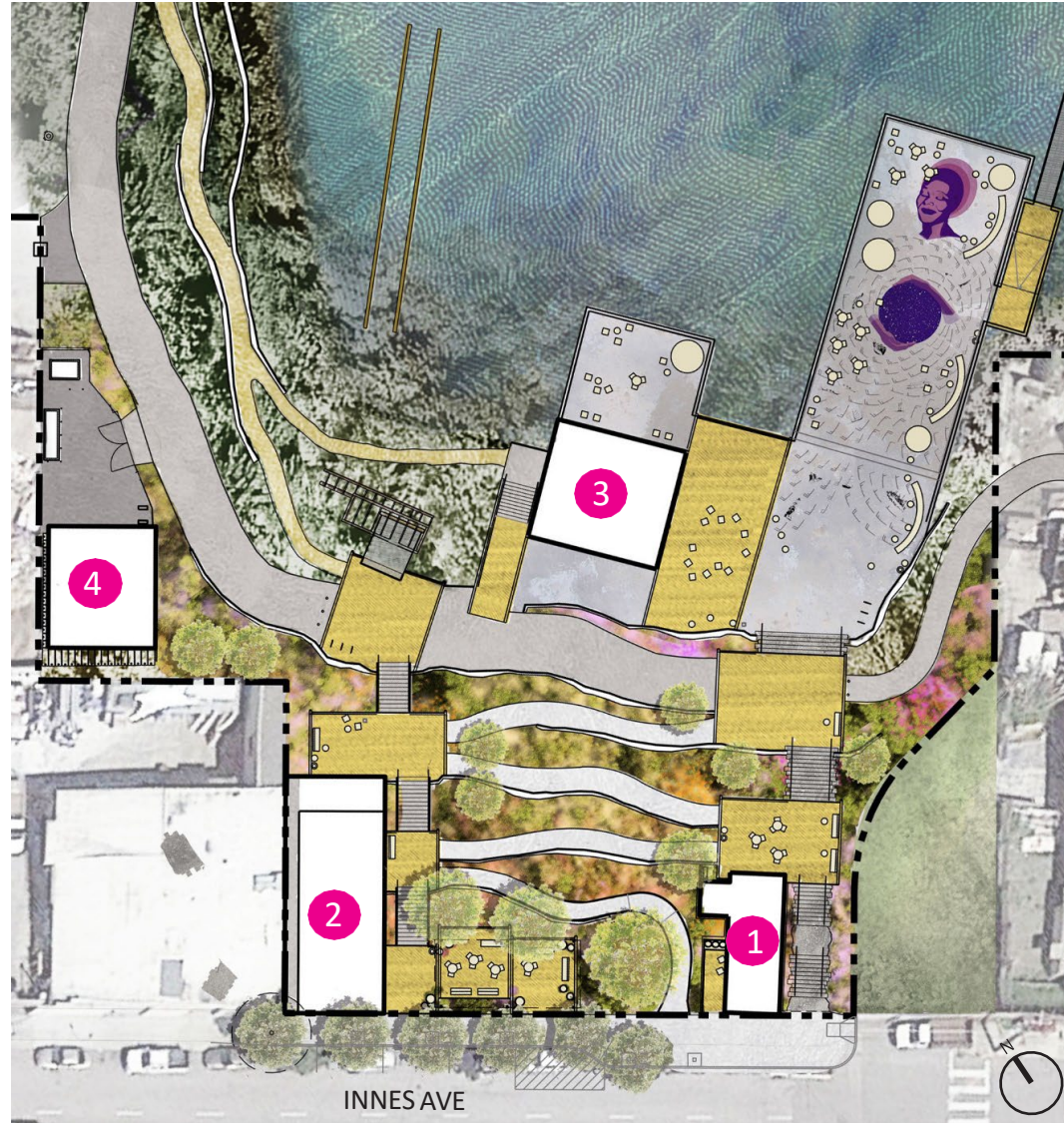
PROPOSED BUILDINGS



1 Shipwright's Cottage



2 Food Pavilion



3 Shop Building



4 Maintenance Building

PLAN: OVERLOOK TERRACE
SCALE: 1/4" = 1'-0"

SECTION: LOOKING WEST
SCALE: 1/4" = 1'-0"

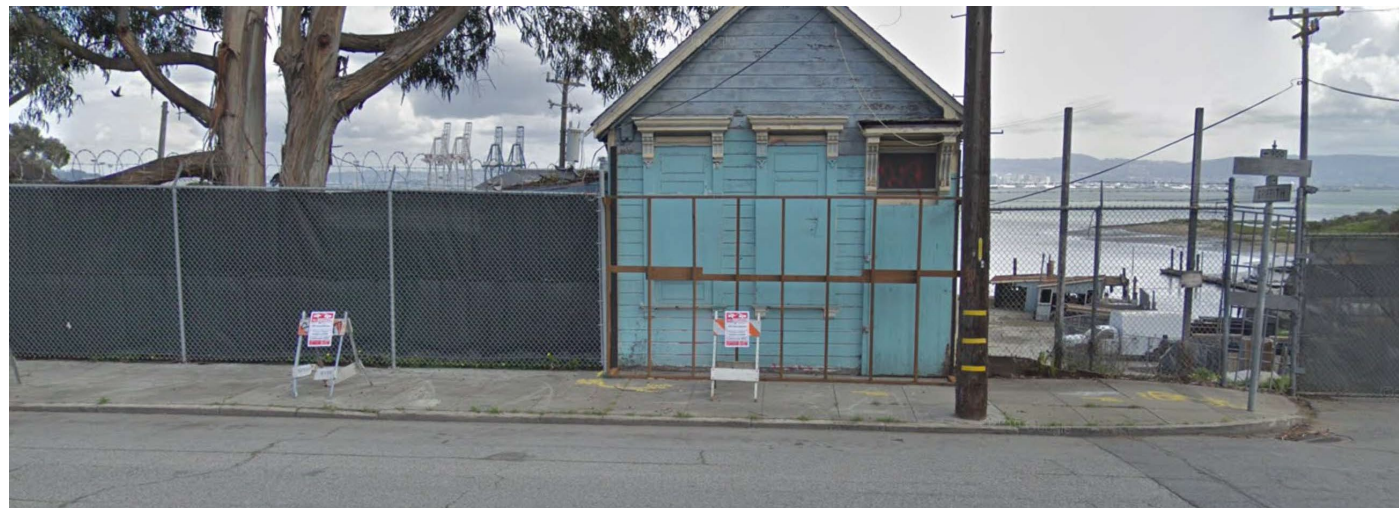
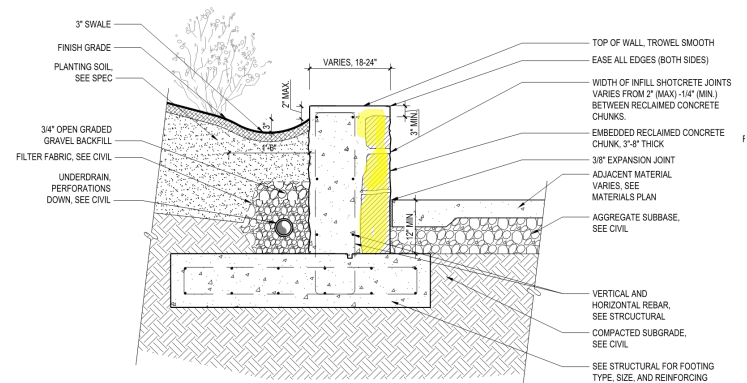
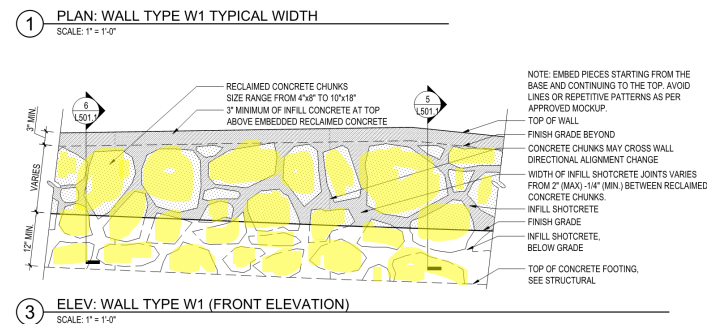
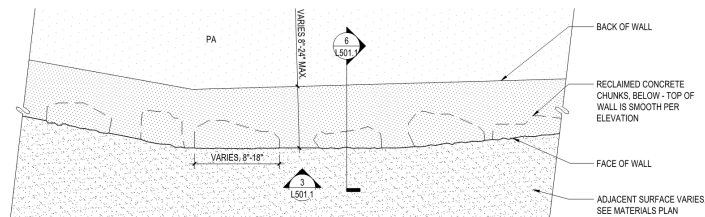
NOTES:

- CONTRACTOR TO COORDINATE LOCATION AND HEIGHT OF INTERPRETIVE SIGNAGE COMPONENT WITH SIGNAGE DESIGNER AND ENSURE SIGNAGE IS AT AN ACCESSIBLE HEIGHT.
- NEW LOG BEAM TO MATCH SALVAGED LOG BEAM DIMENSIONS IF SALVAGED LOG BEAM CANNOT BE REUSED.
- SALVAGED STRUCTURAL FRAME BELOW, SEE SALVAGE NOTES.
- R4 MODIFIED LEAN RAIL TOP, SALVAGED TIMBER.
- R4 LEAN RAIL.
- P4 GRATING, SEE SPEC.
- R3 GUARDRAIL.
- CONCRETE FOOTING BELOW GRADE, SEE STRUCT.
- CONCRETE BEARING WALL BELOW GRATING.
- EDGE OF CONCRETE SLAB BELOW DECKING.
- P5-V1 WOOD DECKING.
- R3 GUARDRAIL POST AT P5-V1 WOOD DECKING.
- SHORE SIDE / BAY TRAIL.
- STIFFENER BELOW, TYP SEE STRUCT.
- GRADE BREAK / FOLD LINE OF NEW BEAMS.
- WIDTH OF GRATING 16'-3 3/8".
- WIDTH OF FLAT GRATING 7'-2".
- WIDTH OF GRATING 12'-11 1/8".
- 4.5% slope.
- 3'-7 1/8" O.C., TYP.
- 2'-0" GRATE LANDING.
- BEND BEAM AS INDICATED IN PLAN.
- NEW BEAM TO MATCH EXISTING, SEE STRUCT.
- CONCRETE PILASTER, SEE STRUCT.
- CONCRETE FOOTING, SEE STRUCT.
- BIORETENTION POND, SEE CIVIL.
- WELD R3 TOP RAIL TO R4 POST.
- 90 DEGREE PIPE BRACKET.
- ATTACHMENT DETAIL.



SALVAGED/SITE SOURCED MATERIALS

W1: Concrete Wall



Existing 900Innes Sidewalk



Existing 900Innes Wall



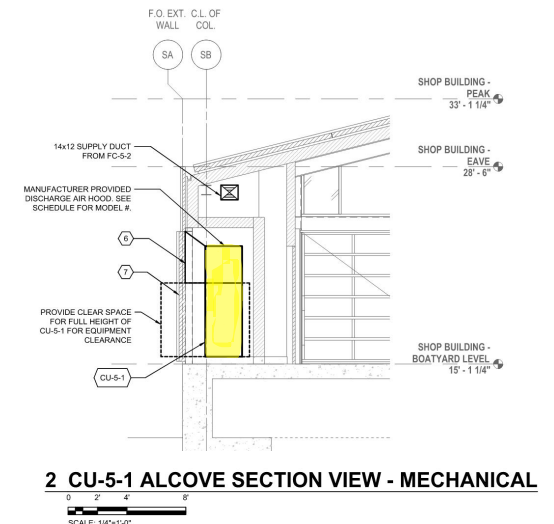
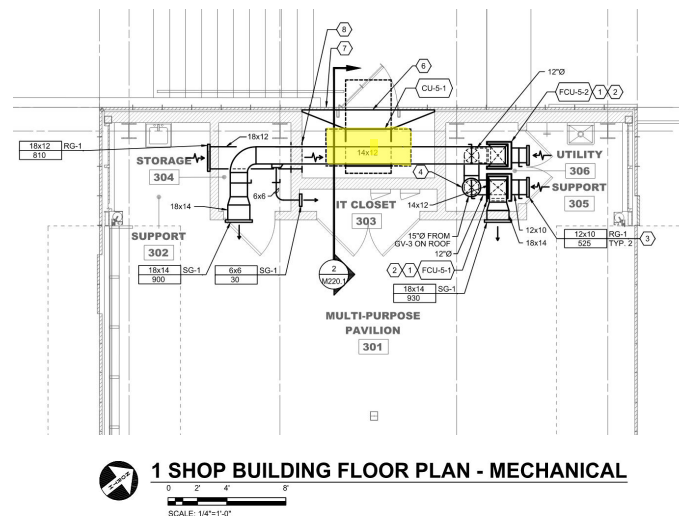
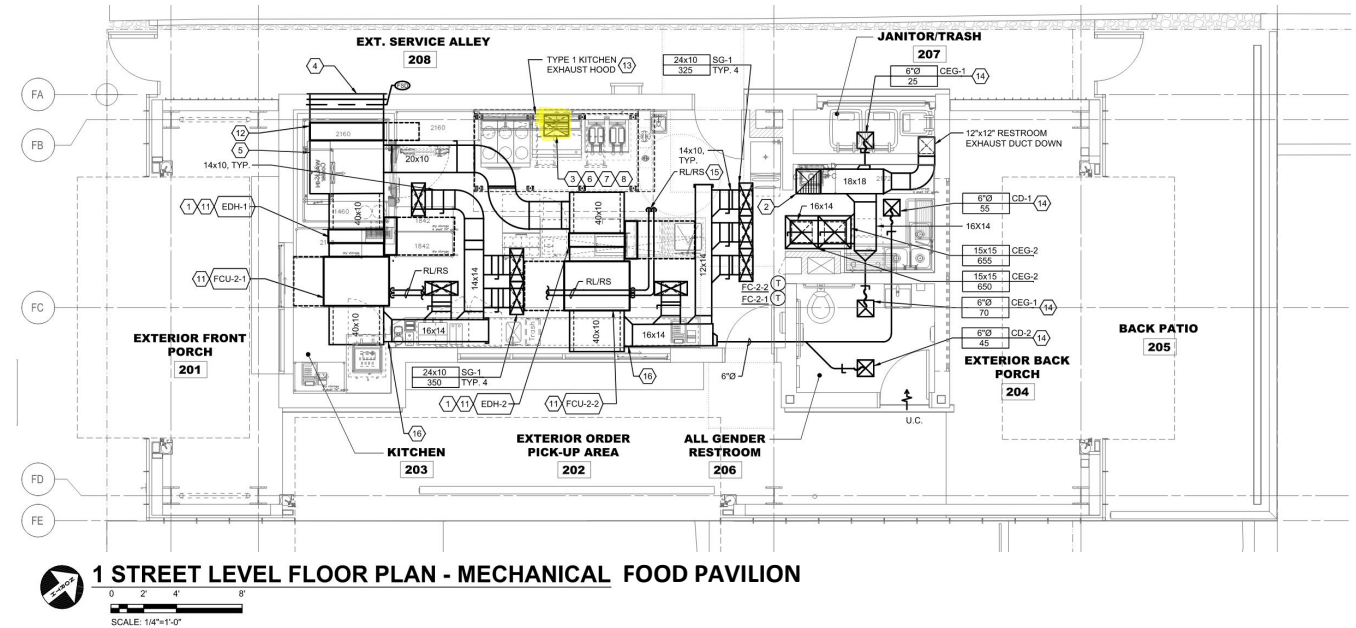
Existing Building Foundation

- Sewer Lift Pump, SSFM
- Stormwater
Bioretention Basins
- Infiltration Gallery
- Utility Layout
Constrained- Footing
Coordination

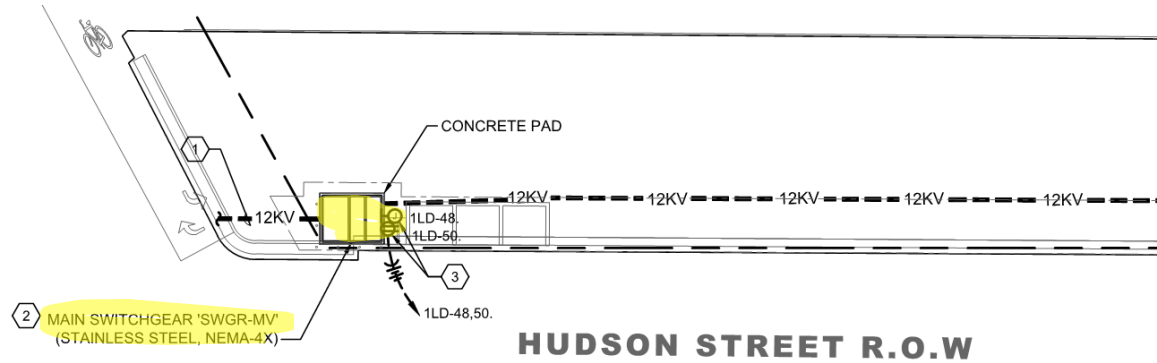


UTILITIES - MECH & TECH

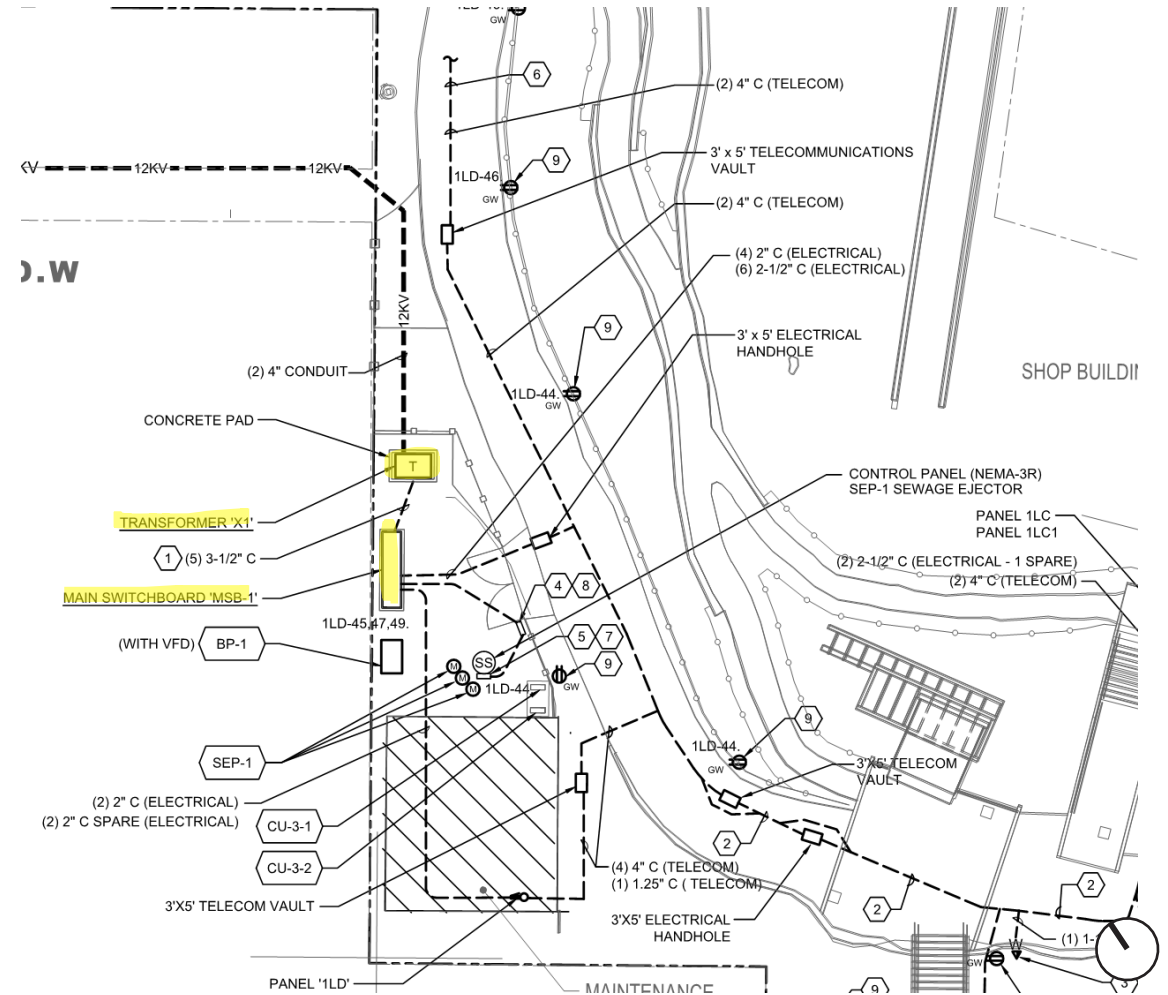
- Grease Exhaust
- Shop Building CU with duct to louver
- Electric radiant heaters in Maintenance Building
- Tech- connections from Maintenance Bldg to all other Bldgs
- Outdoor/Indoor wifi



UTILITIES - ELECTRICAL

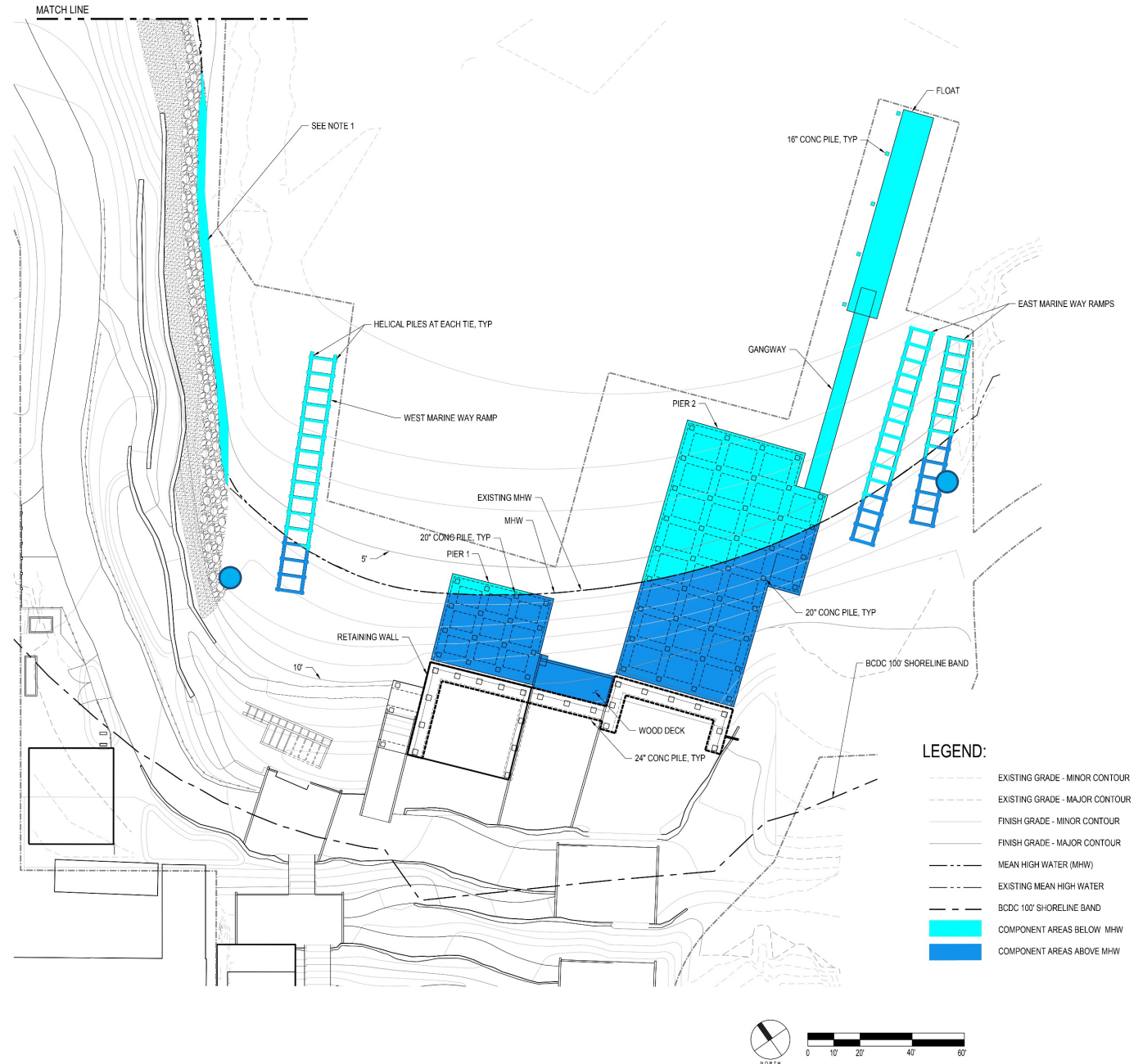


- 12kv PG&E primary service connection, coordinate with PG&E
- Switch gear at Hunter's Point
- Transformer & Switchboard in Yard
- Common trench for power/data
- Design build fire alarm req's specs

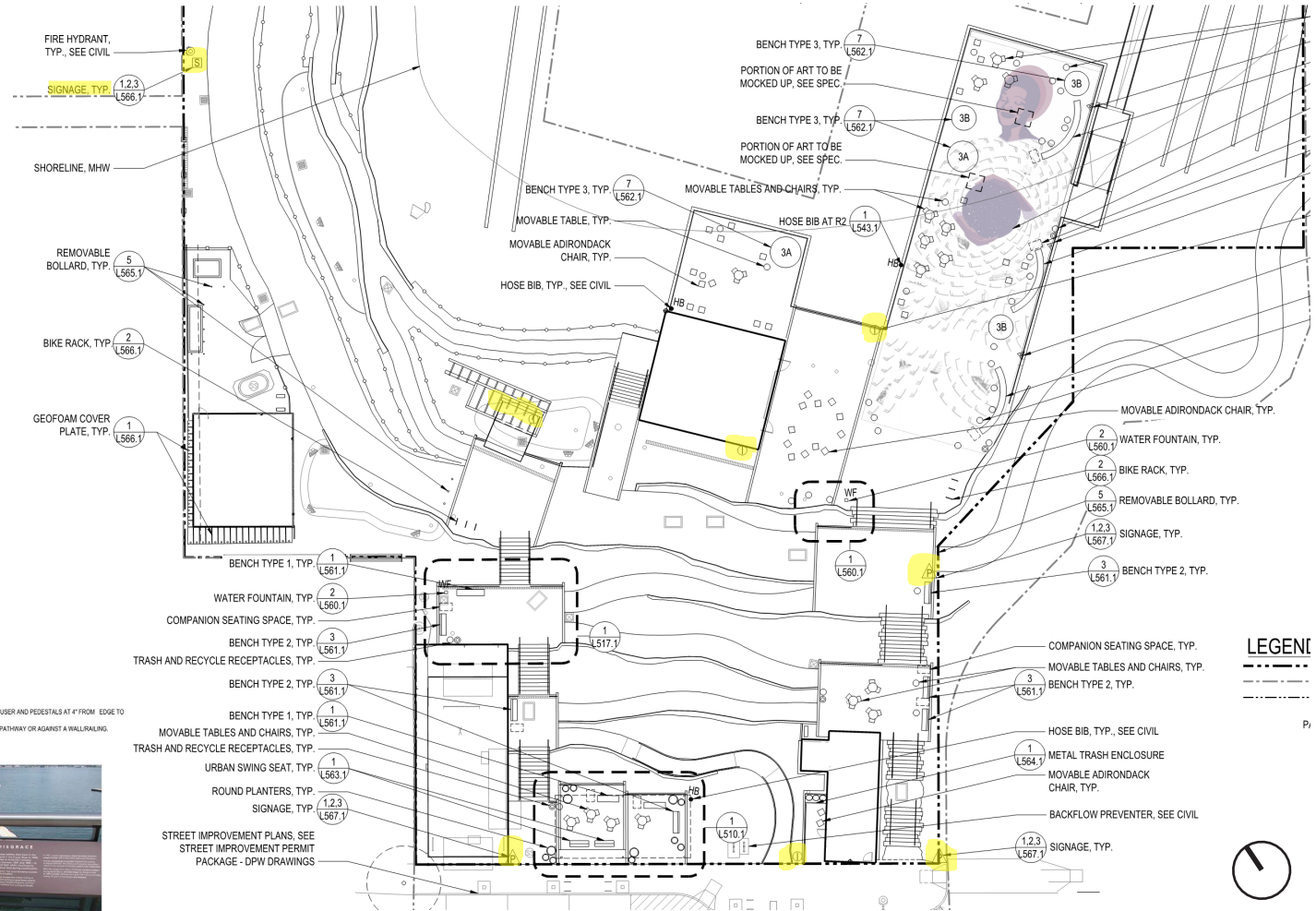


SHORELINE WORK

- MHW & tide work
- Environmental Windows
- Existing Springs/Seeps
- Marine Rail Replacement

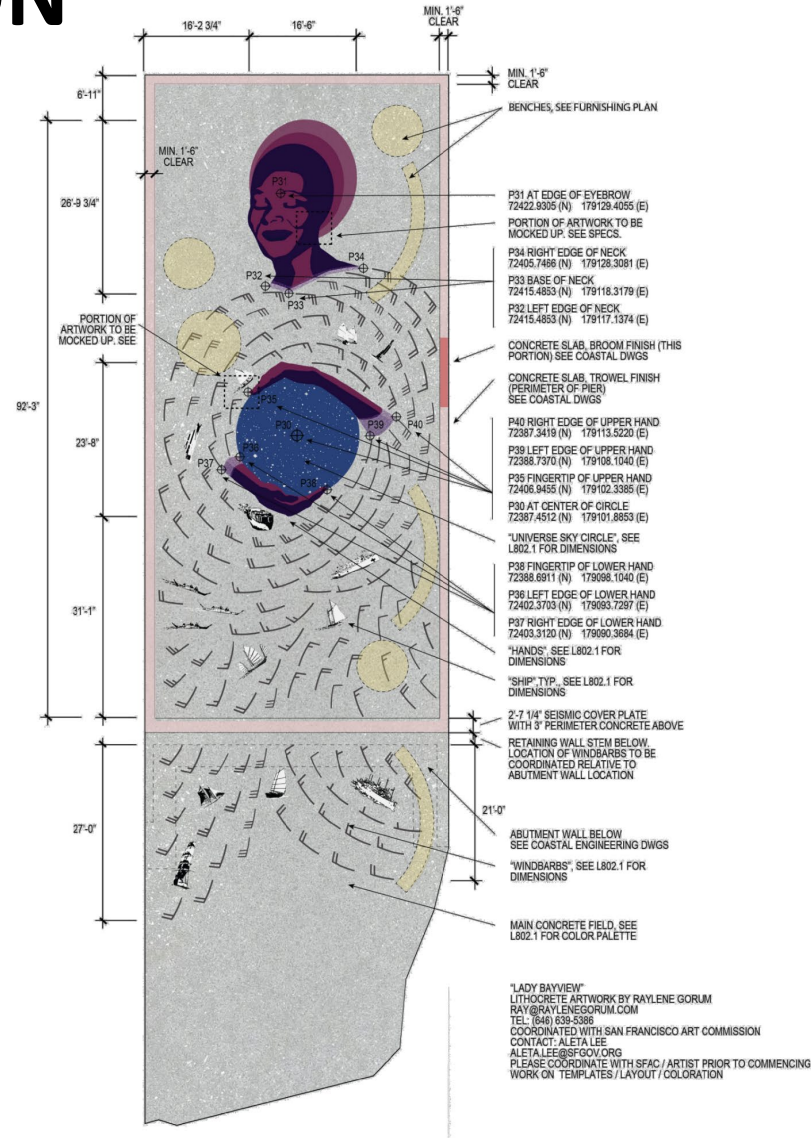


- Location & Footings
- Sign Content
- Sheets L121.1 & L567.1

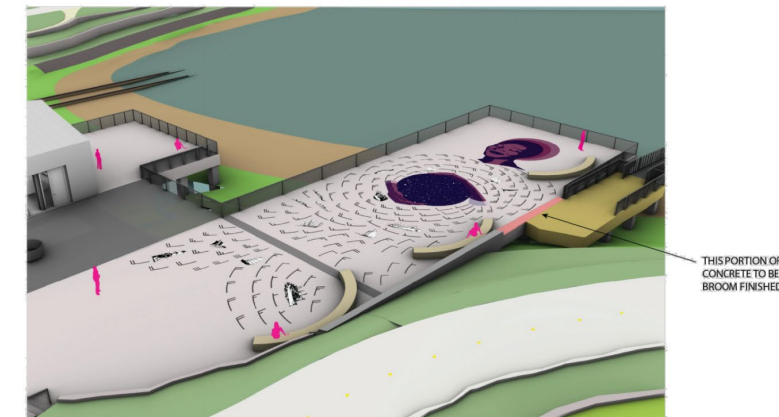


ART COORDINATION

- SF Arts Commission & Artist Coordination
- Submittal for Installer Qualifications
- Sheets L801.1, L802.1
- Section 12 10 10
- Section 32 13 16



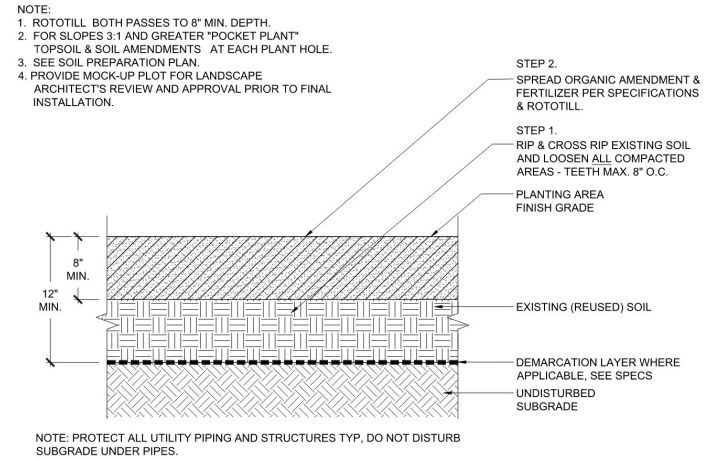
SITE RENDERINGS: NOT TO SCALE



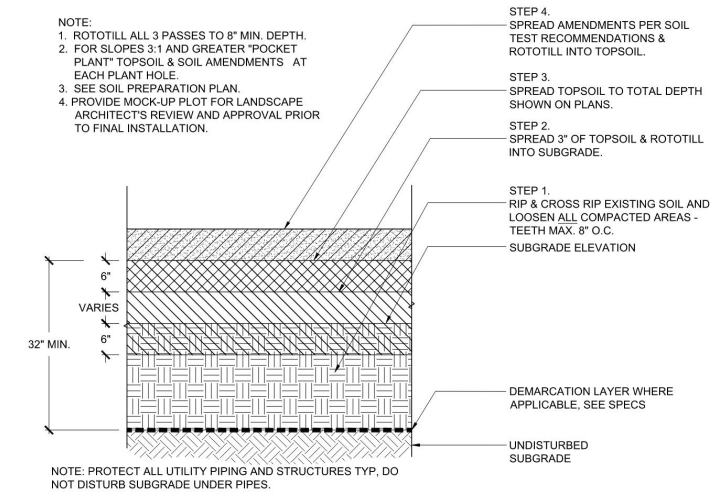
THIS PORTION OF CONCRETE TO BE BROOM FINISHED

PLANTING SOIL

- Existing Topsoil Testing, Reuse, Stockpile
- Import Soil Testing
- Soil Protection & Decompaction
- Sheets L581.1
- Section 32 91 13



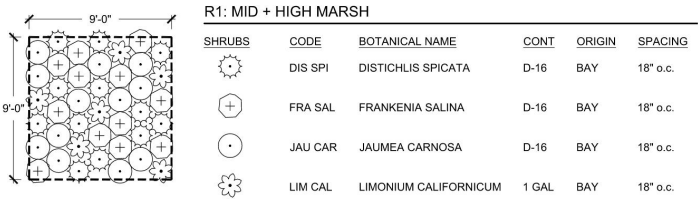
1 SOIL PREP ZONE 5
SCALE: N.T.S.



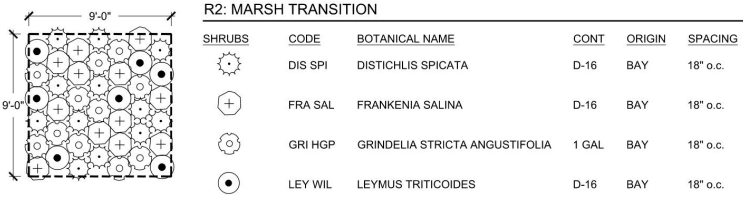
2 SOIL PREP ZONES 1 AND 3
SCALE: N.T.S.

PLANTING

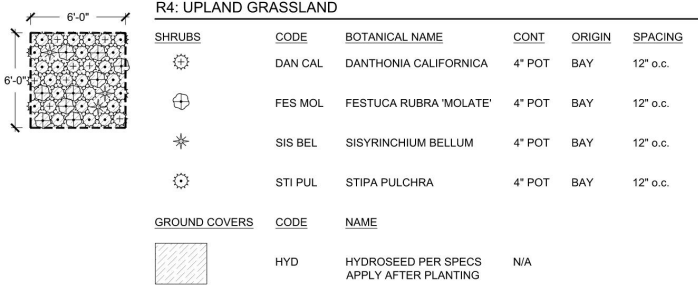
- Planting Installation Schedule
- Plant Material Submittal Requirements
- Compaction & Percolation Testing Prior to Planting
- Sheets L180A.1 – L183.1
- Section 32 92 13
- Section 32 93 00



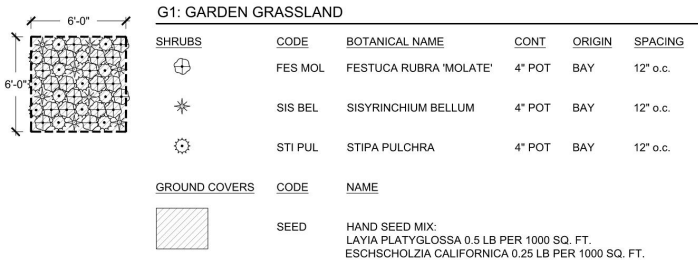
1 MID + HIGH MARSH PLANTING LAYOUT
SCALE: 1/4" = 1'



2 MARSH TRANSITION PLANTING LAYOUT
SCALE: 1/4" = 1'



3 UPLAND GRASSLAND PLANTING LAYOUT
SCALE: 1/4" = 1'



4 GARDEN GRASSLAND PLANTING LAYOUT
SCALE: 1/4" = 1'

SPECIFIC PROJECT REQUIREMENTS

- SECTION 00 73 27
 - SECTION 00 73 34
 - SECTION 01 35 45
 - SECTION 01 52 13
- Air and Noise
 - Placement of Barricades
 - Offsite Parking
 - Staging area away from public view
 - Construction Hours
 - Health and Safety
 - Submit HASP (Health & Safety Plan)
 - PSR (Project Safety Representative)
 - Contractor Vaccination Policy
 - <https://sf.gov/confirm-vaccine-status-your-employees-and-subcontractors>
 - Field Offices

ENVIRONMENTAL & REGULATORY REQUIREMENTS

- Section 01 35 49** Minimum Environmental Procedures (City)
- Section 01 35 49B** Supplementary Environmental Controls and Protections
- Section 01 35 50** Additional Environmental Procedures
 - Mitigation Monitoring Reporting Program (MMRP's - CEQA)
 - Emissions Minimization Plan – Section 1.09
- Section 01 41 00** Regulatory Requirements

AVAILABLE PROJECT INFORMATION

Geotechnical Report: Geotechnical Study Report, India Basin Shipyard Site; AGS; November 2021

Existing Site and Building Construction Documents: 900 Innes Remediation Project (Voluntary Cleanup) Conformed Set, March 2021.

Hazardous Materials Reports: Final Report, Pre-Construction Asbestos and Lead Based Paint Survey, North Tower Environmental; September 23, 2019.

Environmental Reports: An Environmental Impact (EIR) India Basin Mixed Use Project can be found at <https://sfplanning.org/environmental-review-documents>

PROJECT SCHEDULE

- DURATION: 605 CALENDAR DAYS FROM NTP TO SUBSTANTIAL COMPLETION.

Milestone	Dates
NTP	July 2022
TCO	January 2024
SUBSTANTIAL COMPLETION	February 2024
FINAL COMPLETION	April 2024
MAINTENANCE	February 2025

BID SCHEDULE

Milestone	Dates
Prebid Conference	3/23/2022 @10AM
Site Walk APRI Meet & Greet	3/31/2022 @2PM 3/31/2022 @3PM
Questions Deadline	10 Calendar Days Prior to Bid
Bids Due	4/13/2022 @2:30PM
Panel Evaluation	4/18/22 – 4/22/22
Notification of Best Value	4/27/2022

BIDDER'S QUALIFICATIONS & EXPERIENCE STATEMENT

Section 00 40 23

SECTION 00 40 23

BIDDER'S QUALIFICATIONS AND EXPERIENCE STATEMENT

PART A: QUESTIONS

ALL QUESTIONS ARE PASS/FAIL. Bidder will be immediately disqualified if the answer to any question is "Not Qualified".

-
- A-1 At the time of bid, does the Prime Contractor possess both a Class "A" General Engineering Contractor License AND a Class "B" General Building Contractor License?
- ☐ Yes ☐ No No = Not Qualified
-
- A-2 Within the last five (5) years, has a surety or the owner of a project completed or paid for the completion of a project because your firm or any of the firms on your team were terminated for cause by the owner?
- ☐ Yes ☐ No Yes = Not Qualified
-
- A-3 At any time during the last eight (8) years, has your firm, any of the firms on your team or any of its owners or officers been convicted of a crime involving the bidding, award, or performance of a government contract?
- ☐ Yes ☐ No Yes = Not Qualified
-
- A-4 In the last eight (8) years, has your firm, or any firm with which any of your firm's owners, principals or officers was associated, been debarred, disqualified, removed or otherwise prevented from bidding on, from being awarded or from completing any public work or government project for any reason?
- NOTE: "Associated with" refers to another firm in which an owner, partner or officer of your firm held an ownership, principal, or management position.
- ☐ Yes ☐ No Yes = Not Qualified
-
- A-5 Is your firm or any of the firms on your team presently in bankruptcy?
- ☐ Yes ☐ No Yes = Not Qualified
-
- A-6 Has the EPA or any Air Quality Management District, Regional Water Quality Control Board, local storm water management agency, or the Department of Toxic Substance Control cited and assessed penalties in excess of \$100,000 per incident against your firm or any of the firms on your team in the past five (5) years?
- NOTE: If you have filed an appeal for a citation and the Appeals Board has not yet ruled on your appeal, or if there is a court appeal pending, you need not include information about the citation.
- ☐ Yes ☐ No Yes = Not Qualified
-

BEST VALUE QUESTIONNAIRE

Section 00 40 27

- RELEVANT PROJECT EXPERIENCE 300 PTS.
- PROJECT MANAGEMENT APPROACH 100 PTS.
- LOCAL HIRE & WORKFORCE DEVELOPMENT 100 PTS.
- SHORLINE WORK 100 PTS.

SECTION 00 40 27

BEST VALUE QUESTIONNAIRE

1.1 RELEVANT PROJECT EXPERIENCE (300 Points Combined)

- A. Section 00 40 23 Bidder's Minimum Qualifications Statement, Part B, Item B-1 (Prime Contractor) and the Project Data Sheet for every project listed shall be reviewed for the Prime Contractor's experience with:
1. (100 points) Site construction similar or greater in scope, complexity, and cost, particularly:
 - a. New site utilities (e.g., electrical, water, sewer, etc.)
 - b. Excavation and grading
 - c. Site drainage and stormwater management
 - d. Accessible site pathways
 2. (50 points) Marine construction similar or greater in scope, complexity, and cost, particularly:
 - a. Pile-supported piers
 - b. Floating docks
 - c. Seawalls and bulkheads
 - d. Working in an intertidal mudflat shoreline
 3. (100 points) Building construction similar or greater in scope complexity, and cost, particularly:
 - a. Concrete pile and mat slab foundations
 - b. Shotcrete retaining walls
 - c. Construction of below grade occupied spaces such as basements
 - d. Steel frame structures
 - e. Architectural Exposed Structural Steel (AESS)
 - f. Commercial kitchens.
 4. (50 points) Historic renovation and preservation work similar or greater in scope, complexity, and cost, particularly:
 - a. Shoring and lifting a historic structure
 - b. Brick masonry unit restoration and repointing.
 - c. Historic wood repair and carpentry
 - d. Historic window repair

1.2 PROJECT MANAGEMENT APPROACH (100 Points)

Written Response – Limit 3 Pages (8.5" x 11") Excluding Construction Schedule

- A. Describe the overall project approach that your team proposes to use to successfully complete this project. Consider the following key areas. Bidders are encouraged to include actual work product examples from recently completed Projects which are similar in scope and scale to this project. This may include samples of completed QC/QA mark-ups and reports, inspection reports, RFIs, submittals, change order record of negotiations, risk registers, or Schedule.
1. Clearly demonstrate a viable approach for constructing the project that recognizes and expresses a comprehensive understanding of the constraints and restrictions of the site including but not limited to:
 - a. Access routes
 - b. Limited site access
 - c. Limited lay down areas
 - d. Local restrictions
 - e. Construction within a residential community

BID PROCESS

- BID DOCUMENTS
 - <https://bsm.sfdpw.org/ContractAdmin/Login.aspx>
- ADDENDA

[Sign Up for Access](#)

[Forgot your password?](#)

Electronic Bid Documents

Download Application

Please Login

User Name

Your user name is your email address

Password

login

[Project Manual & Reference Docs](#)

[Standard Specs & Plans](#)

If you have any questions, please contact

[Contracts and Bid Opportunities](#)

(415) 554-4051

QUESTION ON BID DOCUMENTS (QBD)

- Use Section 00 21 14 Form to submit questions and RFI's.
- Email to rcurry@mckinc.net

SECTION 00 21 14

QUESTION ON BID DOCUMENTS (QBD)

Potential Bidders must complete this QBD Form and submit to the address below no later than 10 calendar days before the bid opening date.

Project: 900 INNES PARK DEVELOPMENT

Sourcing Event ID No. 0000005616

To: MCK AMERICAS Inc.
150 Executive Park Blvd, Suite 2150
San Francisco, CA 94134
Telephone 415-656-3264

Attention: Ryan Curry
Email: rcurry@mckinc.net

City Use Only	
QBD No. _____	
Received by: _____	
Date Received: _____	
Addendum Issued? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Date Sent	Response:

CONTRACTOR'S QUESTION	
Company Name: _____	Date: _____
Contact Name: _____	Tel: _____
Title: _____	Fax: _____
Check One Only (Use separate form for each specification or drawing question.)	
<input type="checkbox"/> Spec. Section: _____	Paragraph(s): _____
<input type="checkbox"/> Drawing Sheet: _____	Detail(s): _____
Question: _____	

CITY'S REPLY	
<input type="checkbox"/> Mark this box if the QBD can be answered by Bidder's review of the documents. Reply with location(s) where the information can be obtained.	
Reply: _____	
By: _____	Bureau/Firm: _____
Date: _____	

The reply is an answer to a Bidder's question. The reply does not change the Bid Documents unless the information contained therein is issued in an Addendum. At the sole discretion of the City, the question and reply may be returned to the questioner and distributed to all bidding general contractors for informational purposes.

BIDDING FORMS CHECKLIST

Section 00 40 13

SECTION 00 40 13

BIDDING FORMS CHECKLIST

To be submitted with Bid for:

900 INNES PARK DEVELOPMENT
(San Francisco Public Works Sourcing Event ID No. 0000005616)

- A. Each Bidder shall submit with its Bid the following forms, properly completed and executed:
- ☐ Bidder's Qualification and Experience Statement (Section 00 40 23)
 - ☐ Responses to the Best Value Qualification Questionnaire (Section 00 40 27)
 - ☐ Executed Bid Form (Section 00 41 00), with contractor's license number and expiration date.
 - ☐ Bid security equal to 10% of the Bid (Section 00 43 13).
 - ☐ Acknowledgment of Receipt of Addenda (Section 00 43 20).
 - ☐ Proposed Subcontractors Form (Section 00 43 36).
 - ☐ Bidder's Qualifications (Section 00 45 13)
 - ☐ Bidder's Safety Record (Section 00 45 14)
 - ☐ Release and Waiver Agreement (Section 00 45 16).
 - ☐ Highest Prevailing Wage Rate Certification (Section 00 45 60).
 - ☐ Certificate of Bidder Regarding Apprenticeship Training Program (Section 00 45 65).
 - ☐ Certificate of Bidder Regarding Nondiscrimination in Contracts and Benefits (Section 00 45 70).
 - ☐ Certificate of Bidder Regarding Contracting in States that Allow Discrimination (Section 00 45 78)
 - ☐ Non-collusion Affidavit (Section 00 45 80).
 - ☐ Certification of Bidder Regarding Debarment and Suspension (Section 00 45 82).
 - ☐ FORM 2B: "Good Faith Outreach" Requirement Form, and supporting documentation for Items 2 and 4 of the Form.
- B. Digital file of the Bid shall be submitted by following the instructions in Section 00 21 13 Appendix A. Unless otherwise noted, the submitted Bid shall be a single file in PDF format containing all pages of the Bid and named as **"Bid for Sourcing Event ID No. 0000005616 by <Bidder Name>.pdf"**. Unreadable files or pages may result in a Bid being found non-responsive.
1. The Bidder's Qualifications and Experience Statement (Section 00 40 23) shall be submitted as a separate file in PDF format containing all pages of the Bidder's Qualifications Statement including the Project Data Sheets and named as **"Qualifications Statement for Sourcing Event ID No. 0000005616 by <Bidder Name>.pdf"**.
 2. Responses to the written portion of the Best Value Questionnaire (Section 00 40 27) shall be submitted as a separate file in PDF format containing all pages of the written responses and named as **"Best Value Responses for Sourcing Event ID No. 0000005616 by <Bidder Name>.pdf"**.
- C. The Director of the San Francisco Public Works reserves the right after opening Bids to reject any or all Bids, and to waive any minor irregularity in a Bid.
- D. Bids must be submitted no later than the date and time specified in the Advertisement for Bids, or as subsequently specified if changed by Addendum by following the instructions provided in Section 00 21 13 Instruction to Bidders.

BID SUBMISSION

- VIA SHAREFILE
- <https://sanfranciscopublicworks.sharefile.com/Authentication/Login#ConfirmUser>



Bid Submission 0000005616 - 900 Innes Park Development

Please provide your information to receive an activation email.

Email *

First Name : *

* Required

Last Name: *

Company :

Continue

CONTRACT REQUIREMENTS



City and County of San Francisco
SAN FRANCISCO PUBLIC WORKS
SAN FRANCISCO RECREATION AND PARKS

900 INNES PARK DEVELOPMENT

SOURCING EVENT ID No. 0000005616
(PW 900 INNES PARK DEV)

SAN FRANCISCO
CITYWIDE PROJECT LABOR AGREEMENT

PROJECT MANUAL

VOLUME 1 OF 4

(Division 0 to 1)

MARCH 2022

Each Bid shall be enclosed in an envelope bearing the description:
"BID FOR 900 INNES PARK DEVELOPMENT (San Francisco Public Works Contract No.
0000005616)".



Printed on 30% post-consumer recycled stock

CITY COMPLIANCE REQUIREMENTS

Contract Monitoring Division (CMD) Requirements

Ivan Oldenkamp (415) 857-4604 Ivan.Oldenkamp@sfgov.org

Total LBE Subcontractor Participation = 20%

MBE – 8.9% WBE – 3.6% OBE – 7.5%



900 Innes Workforce Development Plan



First Source Hiring Program

Overview

- Applies to publicly funded projects with an estimate in excess of \$350,000
- Contractors are required to work in good faith with the CityBuild unit within the San Francisco Office of Economic and Workforce Development (OEWD) to employ economically disadvantaged individuals in 50% of all new hiring opportunities.
- Contractors must provide CityBuild with a list of Core Employees who will be working on the project, and must notify CityBuild of all new hiring opportunities.
- Core Employees are defined as workers who are documented on contractor's active payroll 60 of the previous 100 working days prior to award of contract. New hiring opportunities are work that will not be performed by a contractor's Core Employees. CityBuild has the discretion to require contractors to submit payroll records to verify that employees listed meet the definition of Core Employees.



First Source Hiring Program

Reporting Guidelines

- Prior to starting work on a project, a CityBuild Workforce Meeting is scheduled to discuss construction schedule and labor needs.
- Form 1: Workforce Projection. Must be submitted to CityBuild by the Prime Contractor for approval within 30 days of contract award. Contractors are required to list work projections and provide a list of Core Employees who will work on the project.
- City's Electronic Certified Payroll System: All contractors will be required to submit certified payroll for all workers through the City's Electronic Certified Payroll System. An account is required to access the system.
- Form 3: Job Notice should be submitted to CityBuild at least 3 business days in advance of a *new hire* start date.



First Source Hiring Program

Compliance and Corrective Action

- Compliance will be monitored through each contractor's good-faith efforts to notify CityBuild of upcoming hiring opportunities, and proactive efforts in prioritizing and placing graduates of the India Basin Specialized Training Program.
- Liquidated Damages may be assessed for each instance of non-compliance: \$5,000 for the first "New Hire" not properly noticed and \$10,000 for each subsequent violation.
- Failure to comply may lead to delay in release of permits by the Department of Building Inspections.
- A Corrective Action Plan may be negotiated to avoid penalties.



India Basin Specialized Training

In partnership with local community-based organizations, CityBuild will provide focused construction training to build the pipeline of workers for this project.

- 4-week Laborer training for San Francisco residents; anticipated start date: June 2022
- CBO will provide outreach, recruitment and supportive services
- Trainees will be screened, selected, and enrolled into Job Readiness Training
- Trainees will receive weekly stipends for food and gas
- Graduates will be indentured into the Laborer's Union, hired to work on 900 Innes, and receive ongoing retention services
- CityBuild has set a goal of placing 10 graduates on this project, and will work directly with contractors to create and facilitate employment opportunities



CITY COMPLIANCE REQUIREMENTS

Office of Labor Standards Enforcement (OLSE)

Anna Liu

Prevailing Wage, Project Labor Agreement

Submit forms to:

Yordanos.Dejen@sfgov.org and contractadmin.staff@sfdpw.org

THANK YOU



David.froehlich@sfgov.org



<http://www.ibwaterfrontparks.com>