

SOUTHEAST HEALTH CENTER PHASE 3 RENOVATION







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SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION

2401 Keith Street, San Francisco, CA

Consultant

SITE INFORMATION

FOR PURPOSES OF CODE REQUIREMENTS, SCOPE OF RENOVATIONS IS LIMITED TO WORK AT 2401 KEITH AND LIMITED EXTERIOR AREAS. SEE ARCHITECTURAL DRAWINGS SITE PLAN AND FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.

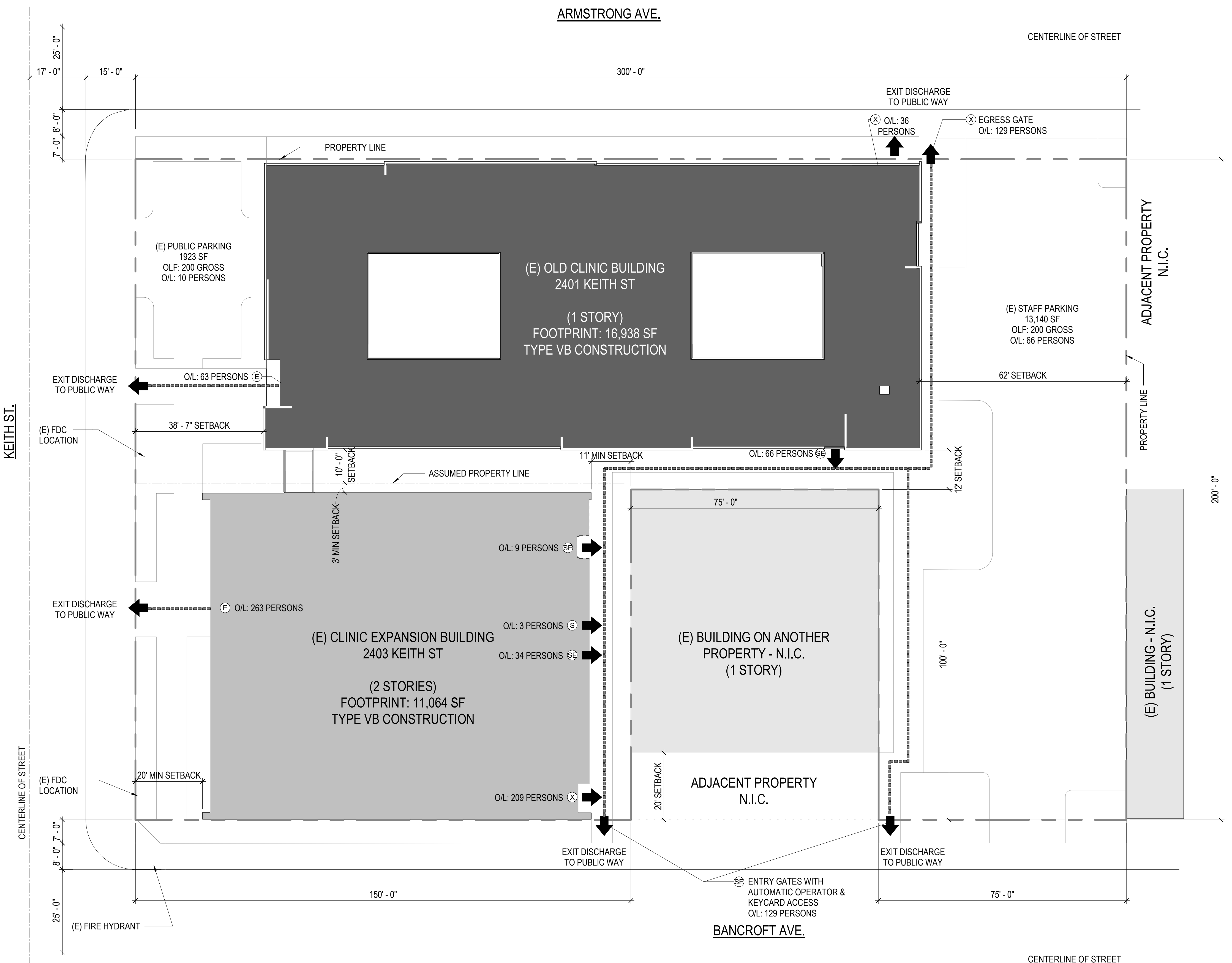
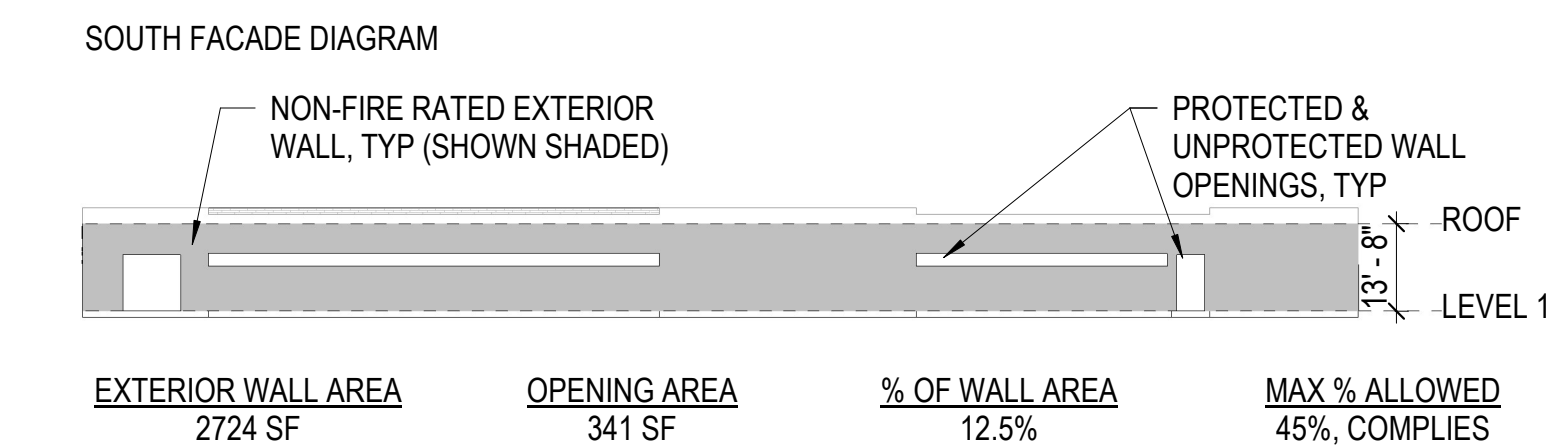
GENERAL FIRE & LIFE SAFETY

SEE G2.11 BUILDING FIRE & LIFE SAFETY CODE DIAGRAM FOR REFERENCE. FOR TYPE VB CONSTRUCTION EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC SECTION 903.3.1 & 903.3.1.2, THE FOLLOWING IS REQUIRED:

FIRE DEPARTMENT CONNECTION (FDC): SEE A1.31 SITE PLAN FOR EXISTING FDC LOCATIONS ALONG KEITH STREET

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE FOR TYPE VB CONSTRUCTION: (CBC TABLE 705.5) SOUTH EXTERIOR BUILDING WALLS: 0 (AT 10' MIN SETBACK) THE REMAINING EXTERIOR BUILDING WALLS ARE NOT REQUIRED TO HAVE A FIRE RESISTANCE RATING BECAUSE EITHER THE ENTIRE BUILDING FACE IS OPEN TO A PUBLIC WAY OR THE SETBACK IS GREATER THAN 10 FEET FROM THE PROPERTY LINE.

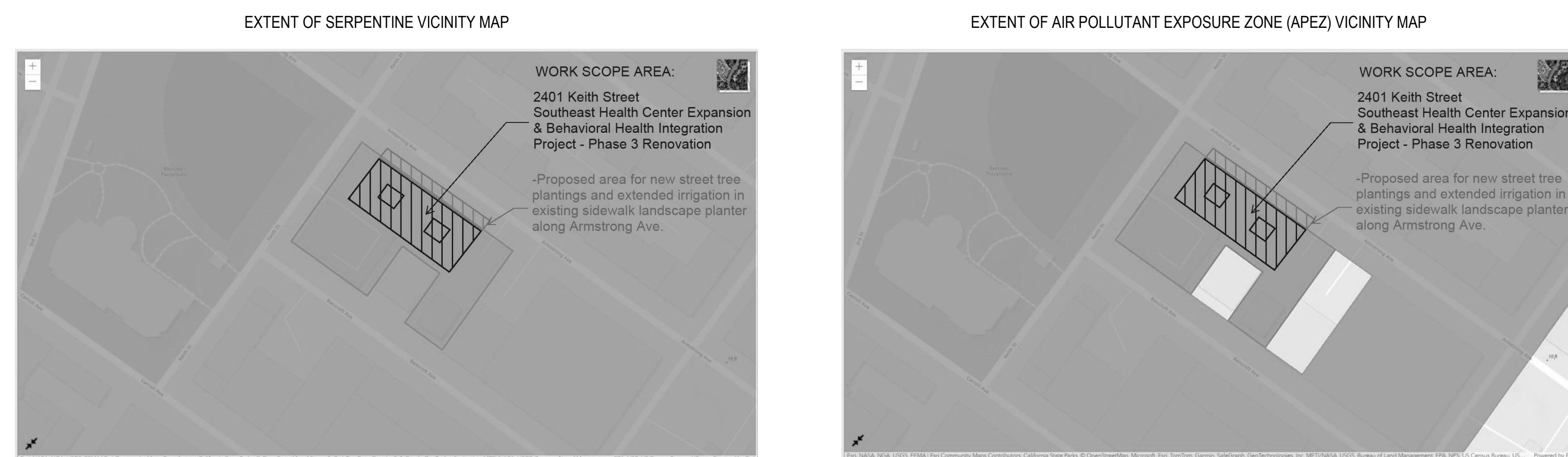
MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (CBC TABLE 705.8) AT THE SOUTH EXTERIOR BUILDING WALL, THE MAXIMUM ALLOWABLE AREA OF PROTECTED & UNPROTECTED, SPRINKLERED WALL OPENINGS IS 45% PER FLOOR. SEE MAXIMUM AREA OF EXTERIOR WALL OPENINGS DIAGRAM.



- CODE DIAGRAM LEGEND**
- EGRESS PATH OF TRAVEL (DIRECTION TRAVEL INDICATED BY ARROWS)
 - ⓔ ACCESSIBLE PUBLIC ENTRANCE & EXIT DOOR
 - Ⓢ ACCESSIBLE STAFF ENTRANCE & EXIT DOOR
 - ⓧ EXIT OR EXIT ACCESS DOOR
 - Ⓣ STAFF ACCESS & EXIT OR EXIT ACCESS

1 SITE CODE COMPLIANCE DIAGRAM
1/16" = 1'-0"

ENVIRONMENTAL - EXTENTS OF SERPENTINE AND AIR POLLUTANT EXPOSURE ZONE VICINITY MAPS



- CONTRACTOR SHALL AVOID DAMAGING AND PROTECT IN PLACE EXISTING GRANITE CURBS. CONTRACTOR SHALL NOTIFY CITY REPRESENTATIVE OF ANY GRANITE CURB NOT IDENTIFIED ON THE PLANS TO BE RESET OR SALVAGED THAT IS IN CONFLICT WITH PROPOSED WORK.
- EXISTING GRANITE CURB SHALL ONLY BE REPLACED WITH CONCRETE CURB ON CURVED RETURNS AND AS PART OF CURB RAMP CONSTRUCTION. EXISTING GRANITE CURB IN GOOD CONDITION SHALL BE RESET TO NEW GRADE. IF EXISTING GRANITE CURB IS DAMAGED, CONTRACTOR SHALL NOTIFY CITY REPRESENTATIVE.

PLUMBING REQUIREMENTS

SEE G2.11 FIRE & LIFE SAFETY CODE DIAGRAM & A2.21 FLOOR PLAN. SEE PLUMBING DRAWINGS.

OCCUPANT LOADS FOR FIXTURE COUNTS (PER CALIFORNIA PLUMBING CODE TABLE A OCCUPANT LOAD FACTOR)					
OCCUPANCY	AREA (SF)	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS	MALE	FEMALE
B	16930	150	113	56	57

PLUMBING FACILITIES (PER 2022 CALIFORNIA PLUMBING CODE TABLE 422.1 MINIMUM PLUMBING FACILITIES)								
	OCCUPANCY	WATER CLOSETS		URINALS	LAVATORIES		DRINKING FOUNTAINS	SERVICE SINKS
		M	F		M	F		
MINIMUM REQ	B	2	4	1	1	2	1 (1 PER 150)	1
PROVIDED	B	8 TOTAL ALL-GENDER (INCLUDES 1 CHILD WC)		2	8 TOTAL ALL-GENDER (INCLUDES 1 CHILD HEIGHT)		1 Drinking Fountain, 3 Filtered Water Dispensers	2

ENERGY CODE PRESCRIPTIVE REQUIREMENTS

2022 CALIFORNIA ENERGY CODE (TABLE 140.3B)

EXTERIOR WALL: MAX U-FACTOR	0.110			
		FIXED WINDOWS:	OPERABLE WINDOWS:	CURTAINWALL OR STOREFRONT:
MAX U-FACTOR:	0.36		0.46	0.41
MAX RSHGC:	0.25		0.22	0.28
MIN VT:	0.42		0.32	0.46
ROOF (WOOD-FRAMED AND OTHER, LOW SLOPED):				
MAX U-FACTOR:	0.34			
THERMAL EMITTANCE:	0.75			
MIN AGED SOLAR REFLECTANCE:	0.63			
EXTERIOR DOORS: SWINGING	0.70			
GLAZED DOORS: MAX U-FACTOR:	0.45			
MAX RSHGC:	0.23			
MIN VT:	0.17			
MAX WWR%	40%			

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Drawing Title

PROJECT CODE COMPLIANCE & SITE CODE COMPLIANCE DIAGRAM

Sheet No. **G2.10**

Scale: As indicated

Project No. PW-DPH-2213



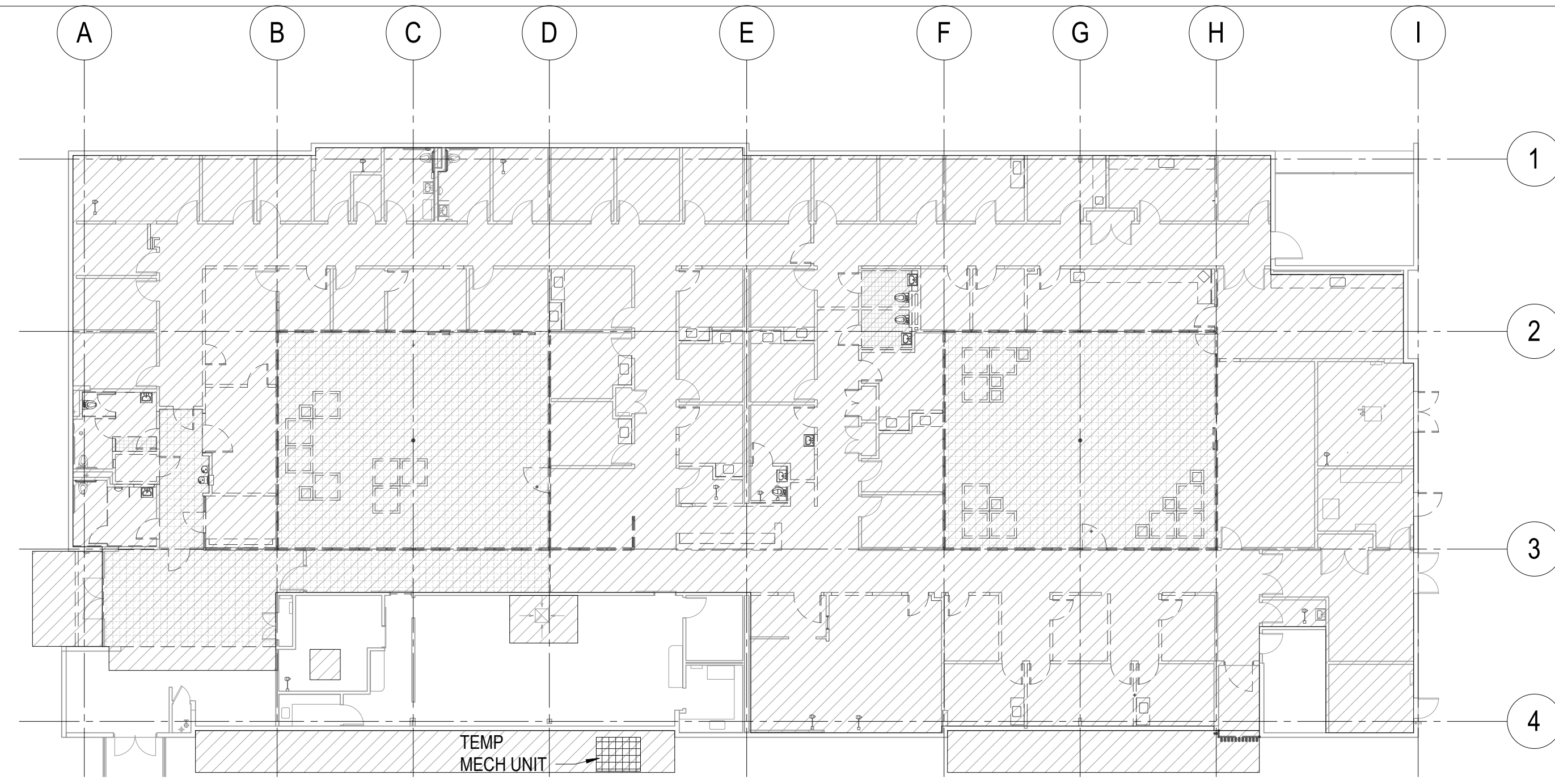
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CONSTRUCTION PHASE 3
THE PURPOSE OF THIS PHASE IS TO CONTINUE CONSTRUCTION THROUGHOUT THE BUILDING WITH PLANNED DURATION FOR TEMPORARY CLOSURE OF THE DENTAL SUITE FOR FOCUSED RENOVATIONS THAT WOULD IMPACT THE ENTRY LOBBY, DENTAL SUITE, & WEST PORTION OF SOUTH MAIN CORRIDOR. DEMOLITION & ABATEMENT FOR REMAINDER AREAS ANTICIPATED DURING THIS PHASE. MAJOR SERVER ROOM & FIRE ALARM SYSTEM TRANSITION WORK CAN TAKE PLACE DURING THIS PHASE WITH DENTAL SUITE CLOSURE.

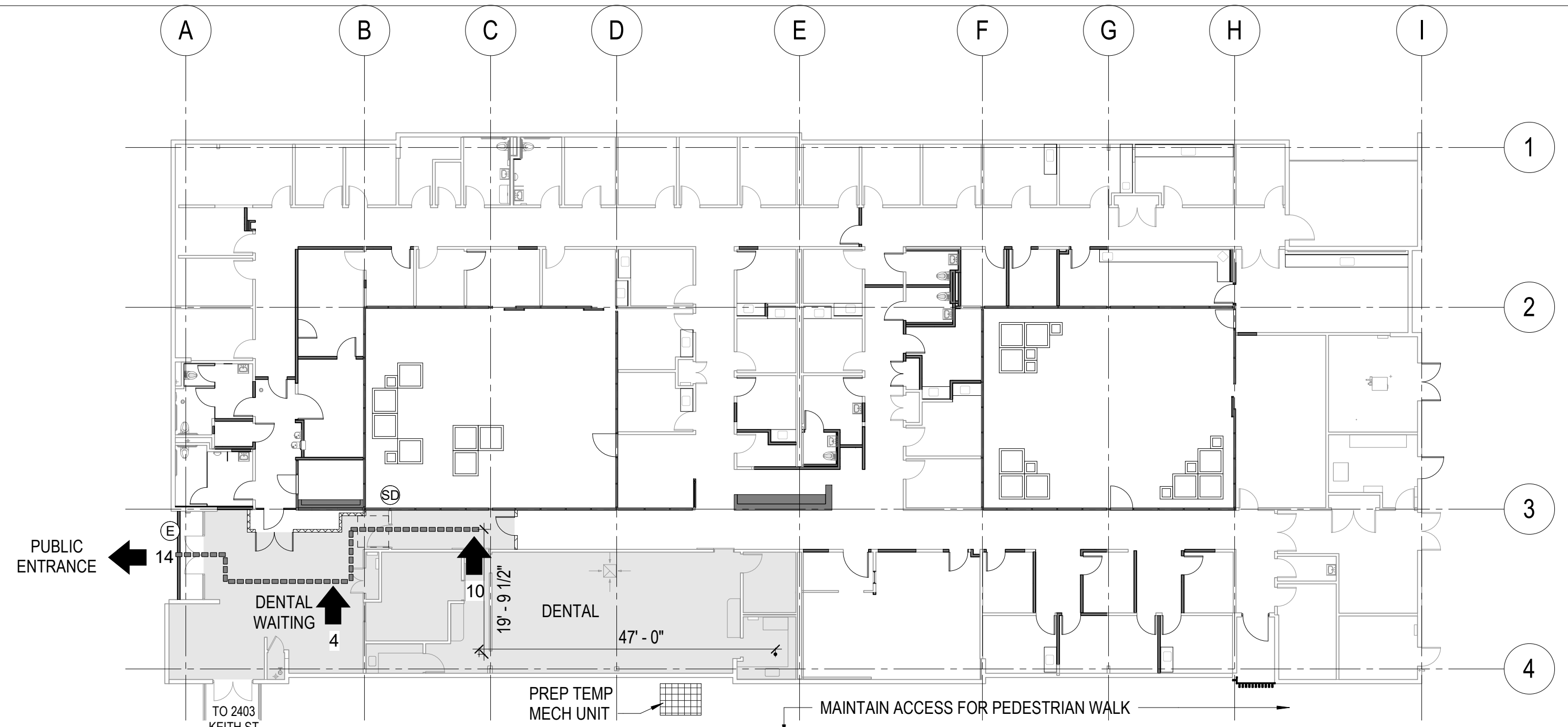
COORDINATE WITH CITY REPRESENTATIVE FOR DENTAL SUITE CLOSURE. COORDINATE WITH CITY REPRESENTATIVE & OWNER TO SECURE ACCESS DOORS TO ADJACENT 2403 KEITH ST BUILDING FROM POTENTIAL VISITOR ACCESS. REMOVE & RELOCATE TEMPORARY BARRIERS TO BE REUSED FOR WORK IN THE LOBBY AND SOUTH MAIN CORRIDOR.

CONTINUED CONSTRUCTION THROUGHOUT THE BUILDING ANTICIPATED DURING THIS PHASE WITH FOCUSED WORK DURING DENTAL CLOSURE INCLUDING BUT NOT LIMITED TO MEPP SCOPE OVER THE DENTAL SUITE, SOUTH FACADE REFRESH SCOPE, WINDOW REPLACEMENTS, SERVER ROOM UPGRADES, & ENTRY ALCOVE SOFFIT RESTORATION.

COORDINATE WITH CITY REPRESENTATIVE FOR TEMPORARY REROUTING FOR WORK IMPACTING THE SOUTH EXTERIOR WALKWAY TO THE BACK PARKING LOT AND 2403 KEITH STREET. PROVIDE TEMPORARY BARRIERS & SIGNAGE AS NEEDED.

ANTICIPATED OCCUPANT LOAD DURING THIS PHASE: 0 PERSONS

3 CONSTRUCTION PHASING DIAGRAM - PHASE 3
1/16" = 1'-0"



CONSTRUCTION PHASE 1
THE PURPOSE OF THIS PHASE IS TO PREPARE FOR DEMOLITION & ABATEMENT FOR LARGEST PORTIONS OF THE BUILDING.

THE DENTAL SUITE SHALL REMAIN IN OPERATION DURING THIS PHASE. PREPARATIONS FOR TEMPORARY INFRASTRUCTURE REQUIRED TO MAINTAIN OPERATION OF THE DENTAL SUITE ANTICIPATED WITH THE START OF CONSTRUCTION ALONG WITH INSTALLATION OF TEMPORARY BARRIERS & ACCESSES. COORDINATE WITH CITY REPRESENTATIVE FOR SWITCH OVER TO TEMPORARY OPERATIONS, INCLUDING TEMPORARY MECHANICAL UNIT. MAINTAIN DENTAL SUITE ACCESS THROUGH THE CONNECTING BREEZEWAY TO THE 2403 KEITH ST BUILDING FOR TEMPORARY TOILET ROOMS ACCESS. SECURE DOOR #6D.2 & PROVIDE TEMPORARY SIGN FOR EGRESS ONLY FROM DOOR #6D.1.

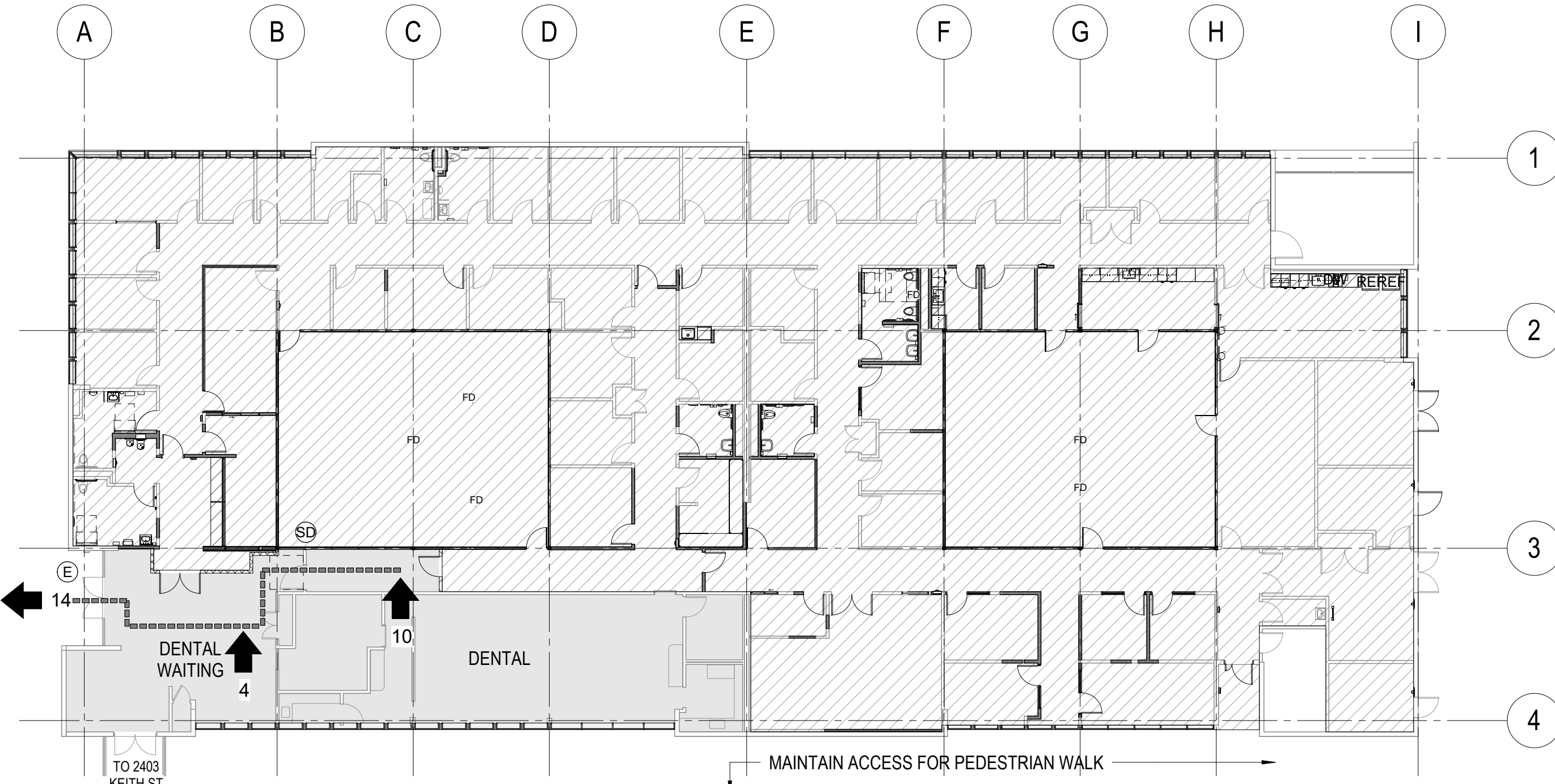
SITE WORK MAY START FOR ARMSTRONG AVENUE PLANTER AREA TO CONTINUE THROUGH DURATION OF CONSTRUCTION.

EXTERIOR FACADE DEMOLITION SCOPE MAY START FOR COURTYARDS & THOSE PERIMETER FACADE AREAS THAT DO NOT IMPACT THE BUILDING ENTRY & DENTAL OPERATIONS.

STAGING CAN TAKE PLACE FROM THE OLD AMBULANCE BAY OFF ARMSTRONG AVENUE & COURTYARD AREAS. PRIMARY CONTRACTOR ACCESS THROUGH CONSTRUCTION ANTICIPATED THROUGH NORTH OLD AMBULANCE BAY AREA.

ANTICIPATED OCCUPANT LOAD DURING THIS PHASE: 14 PERSONS

1 CONSTRUCTION PHASING DIAGRAM - PHASE 1
1/16" = 1'-0"



CONSTRUCTION PHASE 4
THE PURPOSE OF THIS PHASE IS TO FINISH REMAINDER CONSTRUCTION SCOPE, INCLUDING FINISHES, FF&E, & PREPARATIONS FOR MOVE-IN. ANTICIPATING FINISHING OF REMAINDER EXTERIOR SCOPE & SITE WORK FOR IRRIGATION & PLANTINGS.

REINSTALL TEMPORARY BARRIERS AS NEEDED TO SECURE AREAS STILL UNDER CONSTRUCTION. COORDINATE WITH CITY REPRESENTATIVE FOR REOPENING OF THE DENTAL SUITE, ENTRY LOBBY, & CONNECTOR TO 2403 KEITH ST ADJACENT BUILDING.

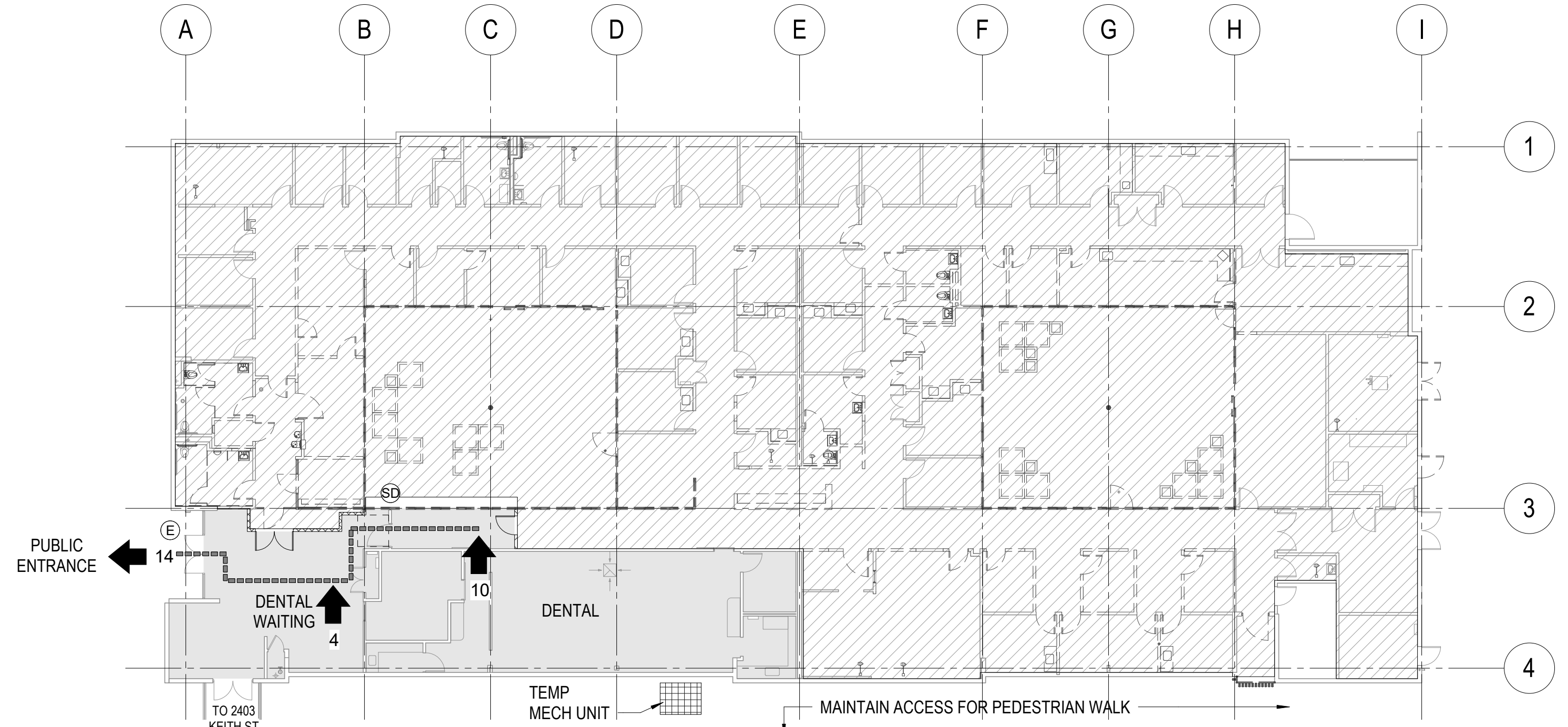
COORDINATE WITH CITY REPRESENTATIVE FOR CFCI FF&E INSTALLATIONS ACCEPTABLE PRIOR TO SUBSTANTIAL COMPLETION. REMAINDER FF&E ANTICIPATED AFTER SUBSTANTIAL COMPLETION.

REMOVE TEMPORARY INFRASTRUCTURE & TEMPORARY BARRIERS ONCE RELATED CONSTRUCTION SCOPE IS COMPLETED & READY FOR OCCUPANCY.

ANTICIPATED OCCUPANT LOAD DURING THIS PHASE: 14 PERSONS

SEE G2.11 FIRE & LIFE SAFETY CODE DIAGRAM FOR FINAL OCCUPANCY LOADS UPON SUBSTANTIAL COMPLETION.

4 CONSTRUCTION PHASING DIAGRAM - PHASE 4
1/16" = 1'-0"



CONSTRUCTION PHASE 2
THE PURPOSE OF THIS PHASE IS TO FINISH DEMOLITION & ABATEMENT SCOPE FOR LARGEST PORTIONS OF THE BUILDING WITH CONTINUED CONSTRUCTION OF RENOVATION SCOPE.

THE DENTAL SUITE SHALL REMAIN IN OPERATION DURING THIS PHASE, INCLUDING ON TEMPORARY INFRASTRUCTURE AS NEEDED. ANTICIPATED SCHEDULING OF ANY WORK WITH MINOR IMPACT ON DENTAL OPERATIONS FOR OVERNIGHT OR OVER THE WEEKEND.

ANTICIPATED OCCUPANT LOAD DURING THIS PHASE: 14 PERSONS

2 CONSTRUCTION PHASING DIAGRAM - PHASE 2
1/16" = 1'-0"

GENERAL PHASING NOTES

- THE BUILDING WILL BE OCCUPIED BY STAFF AND PATIENTS OF THE DENTAL CLINIC DURING MOST OF THE CONSTRUCTION DURATION, INCLUDING AT THE DENTAL SUITE & MAIN ENTRY LOBBY FROM KEITH ST. SEE EACH CONSTRUCTION PHASE FOR OCCUPANCY SEPARATIONS, ACCESSIBLE PATH OF TRAVEL AND EXITING OF OCCUPIED AREAS REQUIRED TO BE MAINTAINED.
- THE ADJACENT 2403 KEITH STREET SOUTHEAST HEALTH CENTER EXPANSION BUILDING, FRONT & BACK PARKING LOTS, & ASSOCIATED ACCESSIBLE ROUTES SHALL REMAIN OPEN DURING EXTENT OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
- SEE WALL TYPE SCHEDULE FOR ASSEMBLY OF TEMPORARY CONSTRUCTION BARRIERS.
- SEE G2.11 FIRE & LIFE SAFETY CODE DIAGRAM FOR FINAL OCCUPANCY LOADS & EGRESS INFORMATION.
- CONTRACTOR SHALL COORDINATE WITH CITY REPRESENTATIVE TO CONFIRM WORK HOUR RESTRICTIONS & PROVIDE ADVANCE NOTICE FOR SHUT-OFF FOR ELECTRICAL OR WATER SHUT-OFF DURATIONS. GENERAL DENTAL PROGRAM OPERATIONS MONDAY-FRIDAY FROM 7AM-6PM.
- CONTRACTOR SHALL COORDINATE WITH CITY REPRESENTATIVE FOR ALL TEMPORARY BARRIER LOCATIONS IN ADVANCE THROUGH EACH PHASE TO ENSURE ADEQUATE EGRESS & LIFE SAFETY COMPLIANCE IS MAINTAINED.
- CONTRACTOR SHALL SUBMIT A DUST MITIGATION/NETWORK EQUIPMENT PROTECTION PLAN TO THE CITY REPRESENTATIVE FOR APPROVAL BEFORE STARTING ANY WORK. COORDINATE WITH CITY REPRESENTATIVE FOR POWER DOWN OF ANY EQUIPMENT, INCLUDING IN THE SERVER ROOM.

PHASING PLAN LEGEND

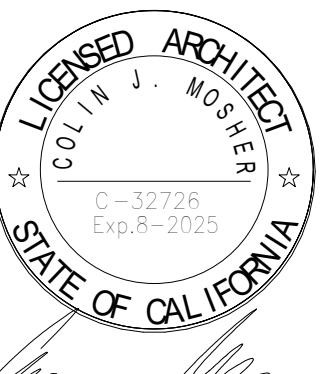
- EXISTING OCCUPIED AREA NOT IN CONSTRUCTION DURING THIS PHASE
- AREA OF WORK
- 32 → OCCUPANT LOAD INFORMATION
- EGRESS PATH OF TRAVEL (DIRECTION TRAVEL INDICATED BY ARROWS)
- ACCESSIBLE PUBLIC ENTRANCE & EXIT DOOR
- ACCESSIBLE STAFF ENTRANCE & EXIT DOOR
- ACCESSIBLE SECURED ENTRY & EXIT ACCESS DOOR (DOOR WITH AUTO OPERATOR LOCKED FROM PUBLIC SIDE WITH CONTROLLED PATIENT ENTRY VIA BUZZER OPENING/STAFF ESCORT, UNLOCKED IN EGRESS DIRECTION)
- EXIT OR EXIT ACCESS DOOR
- STAFF ACCESS & EXIT OR EXIT ACCESS

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CONSTRUCTION PHASING DIAGRAM

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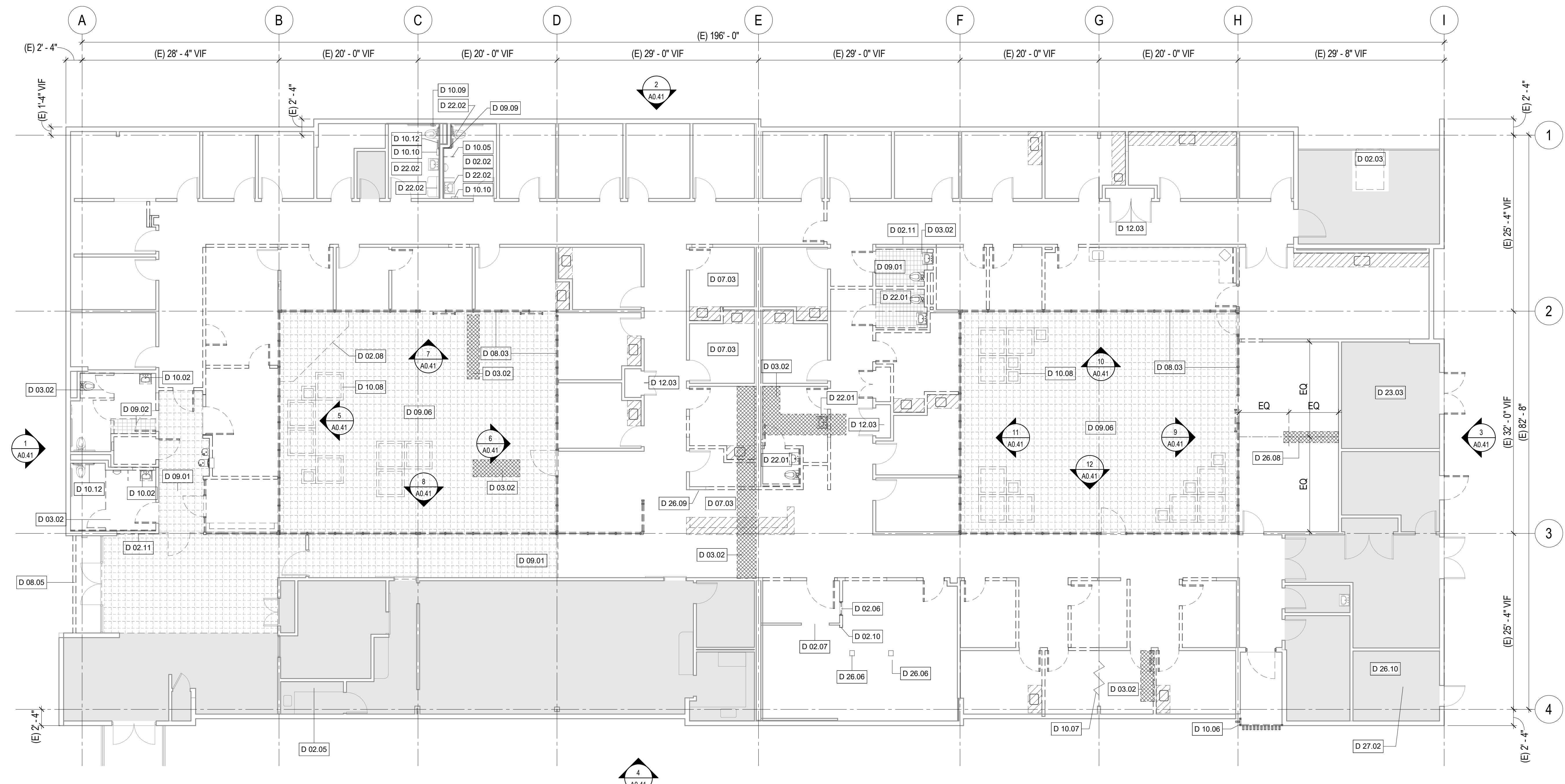
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1 DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- DO NOT COMMENCE DEMOLITION UNTIL REQUIRED BARRICADES AND BARRIERS ARE IN PLACE. PROVIDE CONSTRUCTION BARRICADES FOR WORK IN OR ADJACENT TO PUBLIC SPACES OR OCCUPIED SPACES. CONTRACTOR SHALL MAINTAIN EXITS AND EXIT DISCHARGE TO PUBLIC WAYS FOR ALL OCCUPIABLE BUILDINGS ALL THE TIMES DURING DEMOLITION AND CONSTRUCTION.
- PROVIDE PRE-DEMOLITION SURVEYS AND VERY AREA OF WORK WITH (E) CONDITIONS IN FIELD AS REQUIRED BY DRAWINGS AND SPECIFICATIONS. NOTIFY CITY REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DEMOLITION PLAN AND FIELD CONDITIONS. ALL ELEMENTS NOT SHOWN TO BE DEMOLISHED REQUIRE CITY REPRESENTATIVE REVIEW AND APPROVAL.
- THE BUILDING HAS BEEN DEEMED A HISTORIC RESOURCE BY SF PLANNING DEPARTMENT. THE RENOVATION SHALL FOLLOW THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS. SEE HISTORIC RESOURCE EVALUATION REPORT FOR ADDITIONAL INFORMATION. SEE SPECIFICATIONS SECTION 01 35 43 ENVIRONMENTAL PROCEDURES FOR ADDITIONAL REQUIREMENTS.
- COORDINATE WITH ALL PLANS AND ELEVATIONS INCLUDING CONSULTANT DRAWINGS FOR CLARIFICATIONS OF DEMOLITION SCOPE PRIOR TO PROCEEDING.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK. COORDINATE FULL EXTENT OF DEMOLITION WORK.
- REVIEW ITEMS NOT INDICATED ON DRAWING BUT WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF THE WORK WITH THE CITY REPRESENTATIVE. REMOVE OR RETAIN ITEMS AS DIRECTED BY CITY REPRESENTATIVE.
- REVIEW DRAWINGS AND SPECIFICATIONS FOR SPECIAL PROCEDURES FOR THE REMOVAL AND SALVAGE OF ITEMS INDICATED ON DWG OR IN SPECS TO ACCOMPLISH THE WORK.
- REPAIR AND REFINISH OR REPLACE MATERIALS, EQUIPMENT, FIXTURES AND FINISHES DAMAGED DUE TO DEMOLITION WORK IN ACCORDANCE WITH THE SPECS.
- REMOVE (E) WALLS INDICATED AS DASHED IN THEIR ENTIRELY INCLUDING ALL FINISHES, FRAMING, INSULATION, AND MEP EQUIPMENT, UNLESS OTHERWISE NOTED.
- TURN-OFF UTILITIES TO BE REMOVED OR PROTECT THEM FROM DAMAGE. COORDINATE WITH CITY REPRESENTATIVE FOR DURATION RESTRICTIONS ON SAFE-OFF ELECTRICAL AND WATER SHUT-OFF.
- (E) BUILDINGS TO REMAIN OCCUPIED DURING DEMOLITION ACTIVITIES. MAINTAIN ALL UTILITIES AND EGRESS PATHWAYS DURING CONSTRUCTION FOR OCCUPIED AREAS. PROVIDE TEMPORARY EXITS AS REQUIRED TO ACCOMPLISH THE WORK. SEE G2.21 CONSTRUCTION PHASING DIAGRAM FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL SUBMIT TEMPORARY ACCESS PLAN TO CITY REPRESENTATIVE FOR APPROVAL PRIOR TO START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR HAZARDOUS MATERIALS ABATEMENT. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- FOR ALL ITEMS TO REMOVE, REMOVE ITEM STATED INCLUDING ALL ACCESSORIES AND ATTACHMENTS TO EXISTING SUBSTRATE THAT REMAINS.
- WHERE (E) ACCESSORIES ARE SALVAGED, CONTRACTOR SHALL PATCH ANY HOLES & REFINISH WALL AREA TO MATCH (E) ADJACENT FINISHES. SEE STRUCTURAL DRAWINGS SHEET S2.10 FOR ADDITIONAL SLAB DEMOLITION REQUIREMENTS.

KEY NOTES

- D 02.02 (E) FLOOR, WALL, AND CEILING FINISH TO REMAIN IN RESTROOM. PATCH AND REPAIR TO MATCH (E) ADJACENT FINISH
- D 02.03 REMOVE (E) TEMP RAMP AND RAILING
- D 02.05 (E) EXHAUST FAN & (E) DENTAL COMPRESSOR TO REMAIN. PROVIDE PROTECTION DURING CONSTRUCTION INCLUDING DURING REPLACEMENT OF WINDOWS
- D 02.06 REMOVE (E) WINDOW OPENING & SILL
- D 02.07 REMOVE (E) WALL RECESSED SIGN ABOVE (E) DOOR
- D 02.08 REMOVE (E) WOODEN TRELLIS
- D 02.10 REMOVE PORTION OF (E) WALL. NOTE THIS LOCATION WAS FORMERLY AN X-RAY ROOM. VERIFY IN THE FIELD FOR DEMOLITION SCOPE & INCLUDE REQUIRED ABATEMENT FOR ANY (E) LEAD LINING
- D 02.11 SPD FOR DEMO SCOPE. PARTITION TO BE PATCHED AND REPAINTED, TYP.
- D 03.02 LOCALLY DEMOLISH CONCRETE SLAB FOR PLUMBING WORK. REFER TO STRUCT & PLUMBING DWG.
- D 07.03 AT 6' RADIUS OF NEW AHU, CHECK ALL WELDS. PATCH ALL OPEN WELDS AND BREACHES. PERFORM ASTM E2128 TO CONFIRM BREACHES HAVE BEEN ADDRESSED.
- D 08.03 REMOVE (E) STOREFRONT ASSEMBLY TO ROUGH OPENING, TYP
- D 08.05 REMOVE (E) ROLLUP DOOR, TRACK, AND KEYSWITCH TO ROUGH OPENING. CLEAN, PATCH & REPAIR CMU WALL TO MATCH (E) ADJACENT FINISHES. SEE SPECIFICATIONS SECTION 04 01 20 FOR ADDITIONAL REQUIREMENTS.
- D 09.01 REMOVE (E) FLOOR TILE & MORTAR BED DOWN TO (E) SLAB FOR NEW FLOORING AND MORTAR BED INSTALLATION. REF TO NEW LAYOUT PLAN FOR EXACT DIMS.
- D 09.02 REMOVE (E) FLOOR TILE & MORTAR BED TO RECEIVE FILL IN GROUT AND NEW FINISH. REF TO NEW LAYOUT PLAN AND FINISH PLAN FOR EXACT DIMS AND FINISH TYPE.
- D 09.06 REMOVE (E) TILE OVER MORTAR BED TO (E) CONCRETE SLAB. REMOVE PORTIONS OF (E) CONCRETE SLAB AS REQUIRED FOR DRAINAGE MODIFICATIONS, INCLUDING FLOOR DRAINS AND TOPPING SLAB INSTALLATION.
- D 09.09 REMOVE (E) TILE OVER MORTAR AT CORNER & GYPSUM SHEATHING AS REQUIRED TO PREPARE FOR NEW FURRED PARTITION
- D 10.02 SALVAGE AND RELOCATE (E) VANITY.
- D 10.05 REMOVE (E) URINAL SCREEN FOR WATERCLOSET CLEARANCE
- D 10.06 REMOVE (E) SECURITY FENCE AND PATCH/REPAIR CMU WALL AS REQUIRED PER SPEC 040120
- D 10.07 REMOVE (E) DIVIDER WALL SYSTEM
- D 10.08 REMOVE (E) CONCRETE PLANTER BOXES, INCLUDING (E) SOIL & PLANTS. CONTRACTOR SHALL COORDINATE WITH CITY REPRESENTATIVE FOR SAVING ANY PLANTS THAT THE OWNER REQUESTS TO SALVAGE BEFORE DEMOLITION. VERIFY IN THE FIELD FOR REMOVING & CAPPING OF ANY (E) IRRIGATION LINES BEFORE DEMOLITION, TYP
- D 10.09 SALVAGE AND RELOCATE (E) SANITARY NAPKIN RECEPTACLE. SEE INTERIOR ELEVATIONS
- D 10.10 SALVAGE AND RELOCATE (E) PAPER TOWEL DISPENSER FOR ACCESSIBILITY SEE INTERIOR ELEVATIONS
- D 10.12 SALVAGE AND RELOCATE (E) GRAB BAR FOR ACCESSIBILITY SEE INTERIOR ELEVATIONS
- D 12.03 REMOVE ABANDONED STORAGE ITEMS AND BROKEN SHALVING IN CLOSET. CONFIRM WITH CITY REPRESENTATIVE PRIOR TO DEMOLITION. REPAIR/PATCH FLOOR AND WALL SURFACES TO RECEIVE NEW FINISHES.
- D 22.01 REMOVE (E) PLUMBING FIXTURES PER PLUMBING DWG, TYP. CAP SUPPLY AND WASTE PIPE FOR RE-USE
- D 22.02 (E) WATER CLOSET, VANITY, GRAB BARS, AND WALL MOUNTED TOILET ACCESSORIES TO REMAIN
- D 23.03 SMID FOR MECH DEMO WORK
- D 26.06 REMOVE (E) POWER POLES IN THIS ROOM. SED FOR ADDITIONAL REQUIREMENTS
- D 26.08 CUT A TRENCH IN CONCRETE SLAB FOR RECESSED FLOOR BOX IN NEW CONCRETE SLAB. SEE STRUCT, ELEC & AV DWG FOR MORE DETAILS AND EXTENT.
- D 26.09 REMOVE (E) FIRE ALARM CONTROL PANEL. RETAIN (E) FIRE ALARM CONDUIT FOR NEW FIRE ALARM CONTROL PANEL SYSTEM. SED AND COORDINATE WITH FIRE ALARM DESIGN.
- D 26.10 SED FOR ELEC DEMO WORK.
- D 27.02 BEFORE STARTING ANY WORK, SUBMIT A DUST MITIGATION/NETWORK EQUIPMENT PROTECTION PLAN TO CITY REPRESENTATIVE FOR APPROVAL. COORDINATE WITH CITY REPRESENTATIVE FOR POWER DOWN OF ANY EQUIPMENT.

LEGEND

- NOT IN ARCHITECTURAL SCOPE OF WORK
- WALL TO BE DEMOLISHED
- WALL TO REMAIN
- DOOR AND DOOR FRAME TO BE DEMOLISHED
- DOOR FRAME TO REMAIN/REFURBISHED, TYP. DOOR LEAF TO BE DEMOLISHED OR TO REMAIN PER DOOR SCHEDULE
- CASEWORK TO BE DEMOLISHED
- (E) PORCELAIN TILE TO BE DEMOLISHED
- (E) QUARRY TILE TO BE DEMOLISHED
- LOCALLY DEMOLISH EXISTING CONCRETE SLAB-ON-GROUND AS REQUIRED. SEE STRUCTURE DWG.



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DEMOLITION PLAN

Sheet No. A0.21

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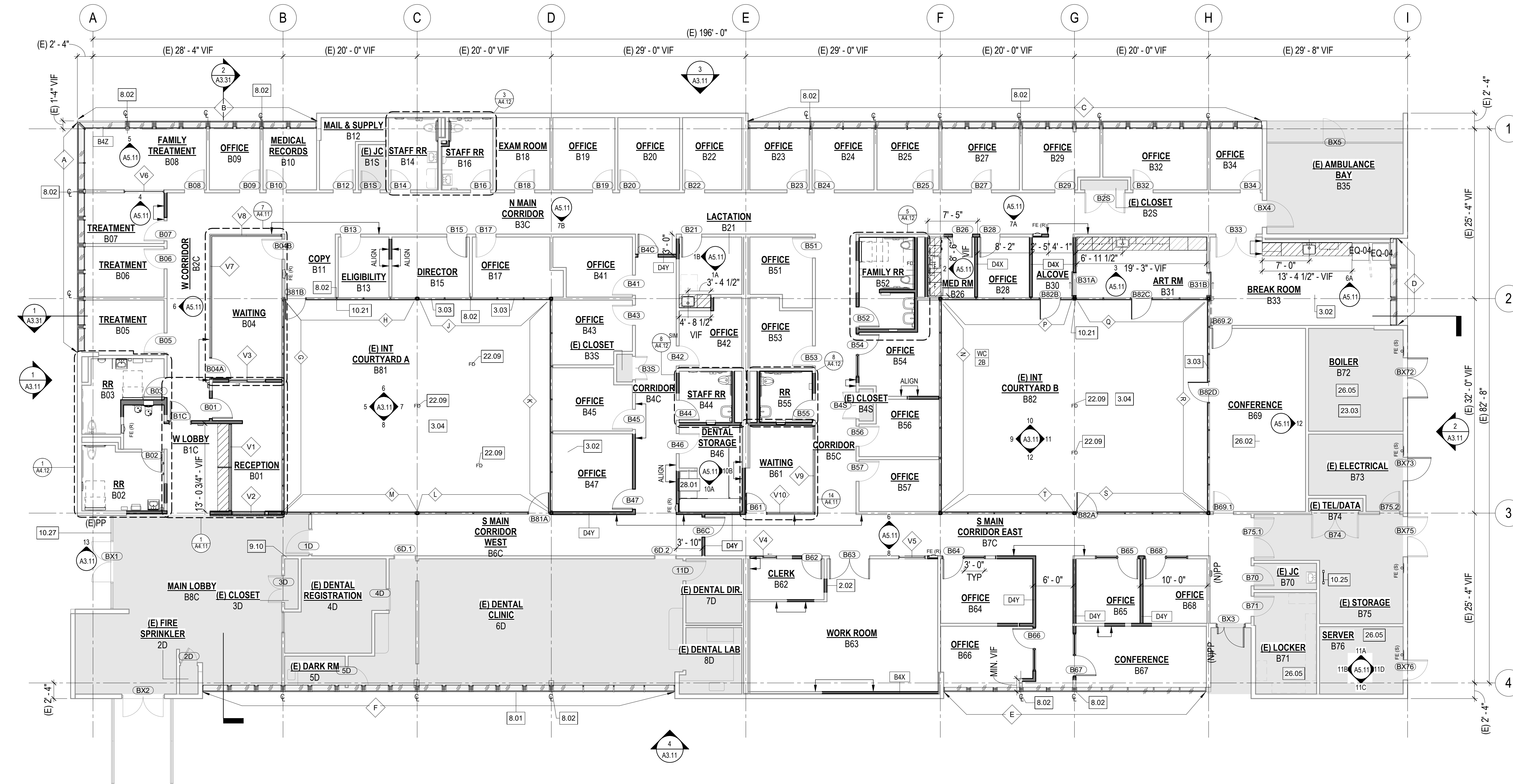
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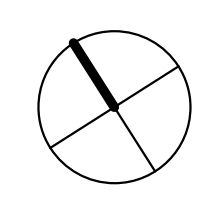
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1 FLOOR PLAN
1/8" = 1'-0"



GENERAL NOTES

- PARTITION FOR INFILL BETWEEN EXISTING PTNS TO MATCH W/ ADJOINING EXISTING PARTITION TYPE, TYP.
- NEW PARTITION TYPE TO BE D4Y UON.
- PROVIDE SOUND ATTENUATION BATTS- TYPE I SOUND TRANSMISSION CLASS, TYP AT ALL NEW PARTITION, UON.
- COORDINATE WITH ENLARGED PLANS FOR PARTITION TYPE TAGS AND DIMENSIONS.
- PROVIDE FIRE EXTINGUISHERS PER SPEC 10 44 00 AT EACH MECHANICAL, ELECTRICAL, BOILER, AND SERVER ROOM. PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE.
- PROVIDE FIRE EXTINGUISHERS PER SPEC 10 44 00 WITHIN 75 FEET OF TRAVEL DISTANCE FOR EVERY 6,000 SF PER CCR TITLE 19, DIV 1, CHAPTER 3, ARTICLE 5. PROVIDE FIRE EXTINGUISHER AND CABINET AS SHOWN ON PLAN.
- ADDITIONAL REQUIRED CLEAR FLOOR AREAS FOR ACCESSIBILITY ARE SHOWN ON THE ENLARGED PLANS AND INTERIOR ELEVATIONS. FOR THE ACCESSIBLE CLEAR FLOOR AREA AT DOORS, REF THE APPROPRIATE DETAILS ON G SHEETS, G3.21 & G3.22.
- SEE A9.10 FOR PARTITION TYPES
- SEE A9.40 FOR DOOR SCHEDULE
- SEE A8.41 FOR WINDOW OPENINGS SCHEDULE
- SEE A10.11 FOR FINISH SCHEDULE
- SEE A10.31 FOR SIGNAGE SCHEDULE
- SEE A10.41 FOR FF&E AND ACCESSORY SCHEDULE
- REF CONSULTANT DRAWINGS FOR ADDITIONAL SCOPE
- FOR ALL WINDOW AND STOREFRONT REPLACEMENT LOCATIONS, CONTRACTOR SHALL PATCH, REPAIR, & REFINISH (E) ADJACENT WALLS TO REMAIN AFTER REMOVAL OF FORMER SYSTEMS.

KEY NOTES

2.02	INFILL (E) WALL OPENING & MATCH TO ADJACENT WALL FINISHES	26.02	RECESSED FLOOR BOX IN CONCRETE SLAB. SEE ELEC & AV DWG FOR MORE DETAILS.
3.02	PATCH & REPAIR (E) FLOORING SUBSTRATE DAMAGE, ASSUME 2 SF OF CONCRETE PATCHING PRIOR TO NEW FLOORING SYSTEM INSTALLATION	26.05	SED FOR NEW ELEC WORK IN THIS ROOM.
3.03	PROVIDE & INSTALL GROUTING TO INFILL UNDER REMOVED (E) SLIDING DOORS. VERIFY (E) CONDITIONS IN THE FIELD DURING DEMOLITION. ALIGN GROUTING WITH EDGE OF (E) CONCRETE SLAB & PATCH SURFACE AS NEEDED TO PROVIDE A LEVEL AND EVEN SURFACE FOR RECEIVING NEW STOREFRONT SYSTEM	28.01	(N) FIRE ALARM CONTROL PANEL TO RE-USE THE EXISTING CONDUITS WHERE POSSIBLE. REFER TO ELEC DWG FOR MORE INFO.
3.04	COURTYARDS WITH EXTERIOR TOPPING SLABS. SEE 2/A8.23 FOR ADDITIONAL INFORMATION INCLUDING FOR CONSTRUCTION JOINTS		
8.01	ALUMINUM WINDOWS INSTALLED SLOPED TO MATCH EXISTING, TYP. SEE DETAIL SHEET A8.21		
8.02	MULLION TO BE CENTERED WITH INTERIOR PARTITION, TYP.		
9.10			
10.21	PROVIDE & INSTALL (N) WEATHERPROOF INTERCOM DEVICE FOR EMERGENCY USE TO PROTRUDE LESS THAN 4". SEE SEC DWG FOR MORE INFO. PROVIDE & INSTALL (N) EXTERIOR MAX OCCUPANCY SIGNAGE, SURFACE MOUNTED. SEE SIGNAGE SCHEDULE.		
10.25	(E) LADDER TO REMAIN		
10.27	NEW OPENING HOURS DECAL SIGNAGE		
22.09	NEW FLOOR DRAIN IN THE SAME LOCATION AS (E) DRAIN: SPD		
23.03	SMD FOR MECH WORK IN THIS ROOM.		

LEGEND

- NOT IN ARCHITECTURAL SCOPE OF WORK
- (N) NEW PARTITION
- (E) EXISTING PARTITION TO REMAIN
- DOOR WITH DOOR NUMBER
- FIRE EXTINGUISHER W/ RECESSED CABINET
- SURFACE-MOUNTED EXTINGUISHER W/ MOUNTING BRACKET
- FLOOR DRAIN
- MILLWORK
- EXISTING ACTUATOR PUSH PLATE
- NEW ACTUATOR PUSH PLATE
- ALIGN

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Drawing Title

FLOOR PLAN

Sheet No. **A2.21**

Scale: As indicated

Project No. PW-DPH-2213

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Ron Almeida - City Architect

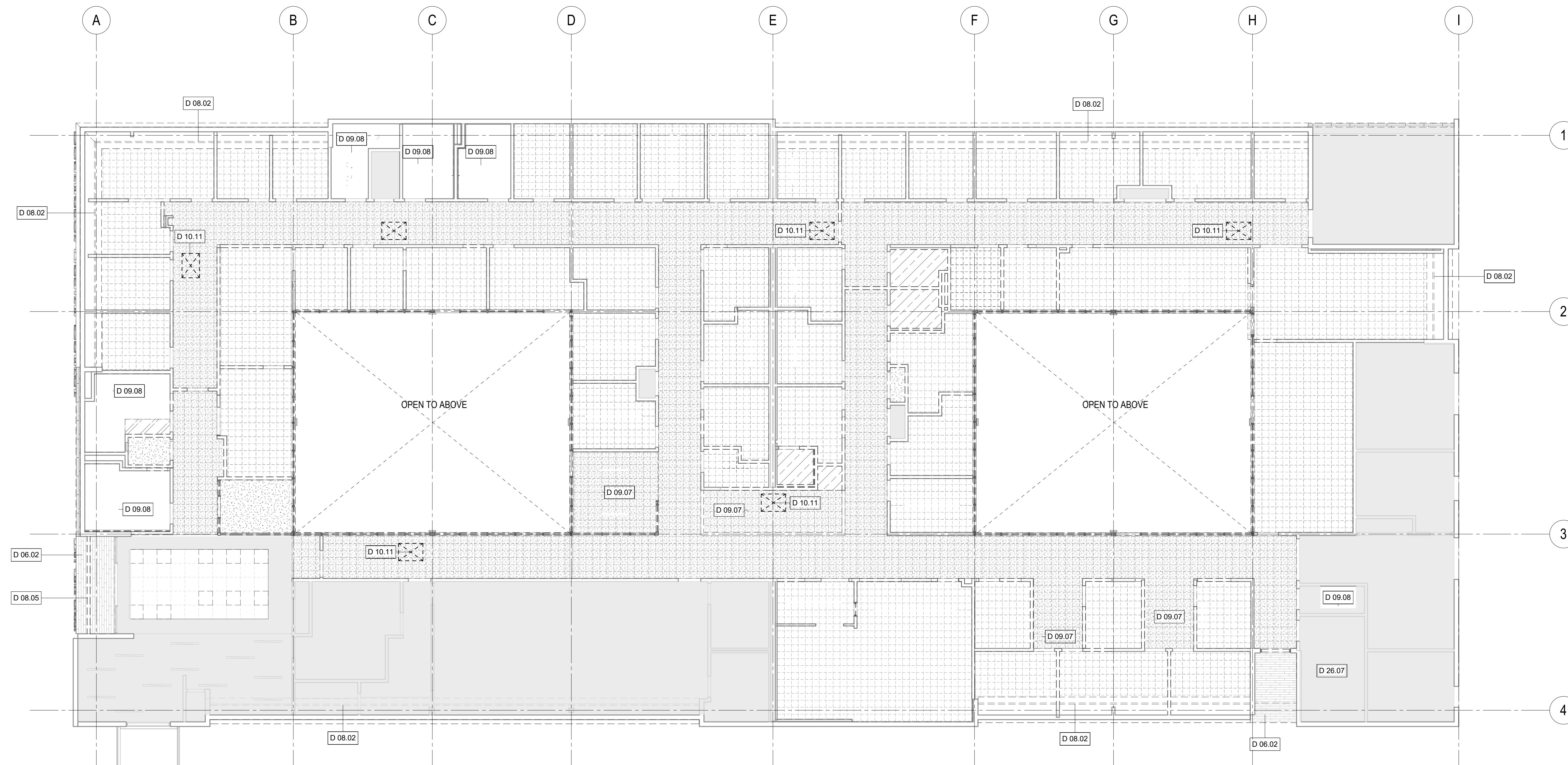
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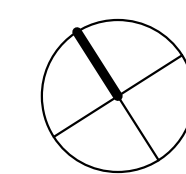
SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION

2401 Keith Street, San Francisco, CA

Consultant



1 DEMOLITION REFLECTED CEILING PLAN
1/8" = 1'-0"



GENERAL REFLECTED CEILING NOTES

- PROTECT (E) SPRINKLER PIPES AND (E) SPRINKLER HEADS FOR REUSE, TYP. UNLESS THE ELEMENTS ARE REVIEWED AND APPROVED BY CITY REPRESENTATIVE TO BE DEMOLISHED ONCE EXPOSED AND VERIFIED IN THE FIELD FOR PROPER LIGHTING DISTRIBUTION AND NEW CEILING GRID LAYOUT. SEE FIRE PROTECTION DWGS FOR ADDITIONAL REQUIREMENTS.
- (E) ACCESS PANELS TO REMAIN AT (E) TO REMAIN / (E) TO BE REFINISHED FRAMED CEILING AREAS, UON. PROVIDE PROTECTION DURING CONSTRUCTION & PROVIDE NEW PAINTED FINISH. COORDINATE WITH CITY REPRESENTATIVE FOR FINAL FINISH SELECTIONS.

KEYNOTES

D 06.02	REMOVE (E) WOOD SIDING, WOOD SOFFIT AND BUILDING PAPER, TYP. SEE ELEVATIONS FOR ADDITIONAL INFORMATION.
D 08.02	REMOVE (E) WINDOW AND FRAME ASSEMBLY TO ROUGH OPENING
D 08.05	REMOVE (E) ROLLUP DOOR, TRACK, AND KEYSWITCH TO ROUGH OPENING. CLEAN, PATCH & REPAIR CMU WALL TO MATCH (E) ADJACENT FINISHES. SEE SPECIFICATIONS SECTION 04 01 20 FOR ADDITIONAL REQUIREMENTS.
D 09.07	DEMO (E) CEILING FRAME TO RECEIVE (N) SUSPENDED CEILING SYSTEM. REFER TO RCP FOR EXACT EXTENT.
D 09.08	(E) CEILING FINISH TO REMAIN. SEE MECH AND ELEC DWG FOR DEMO SCOPE. PATCH AND REPAIR AFTER MECH & ELEC WORK.
D 10.11	REMOVE (E) ACCESS PANEL AT CORRIDOR, TYP.
D 26.07	(E) LIGHT FIXTURES TO REMAIN IN ROOM ARE MISSING LENSES. SALVAGE SIMILAR REPLACEMENT LENSES FOUND IN GOOD CONDITION DURING DEMOLITION OF OTHER CEILING AREAS THROUGHOUT THE BUILDING FOR REUSE IN ROOM. REPLACE MISSING LIGHTING FIXTURE LENSES

LEGEND

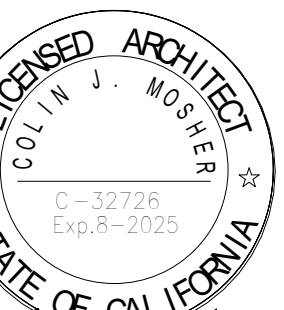
- NOT IN ARCHITECTURAL SCOPE OF WORK
- DIRECTLY ATTACHED ACOUSTIC CEILING TILE TO BE DEMOLISHED. (E) CEILING WOOD FRAME AND GYP SHEATHING TO REMAIN, UON
- ACOUSTIC CEILING TILE AND GRID SYSTEM TO BE DEMOLISHED
- PLASTER CEILING TO BE DEMOLISHED
- GYP BD CLG TO BE DEMOLISHED

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Drawing Title

DEMOLITION RCP

Sheet No. **A0.31**

Scale: As indicated

Project No. PW-DPH-2213

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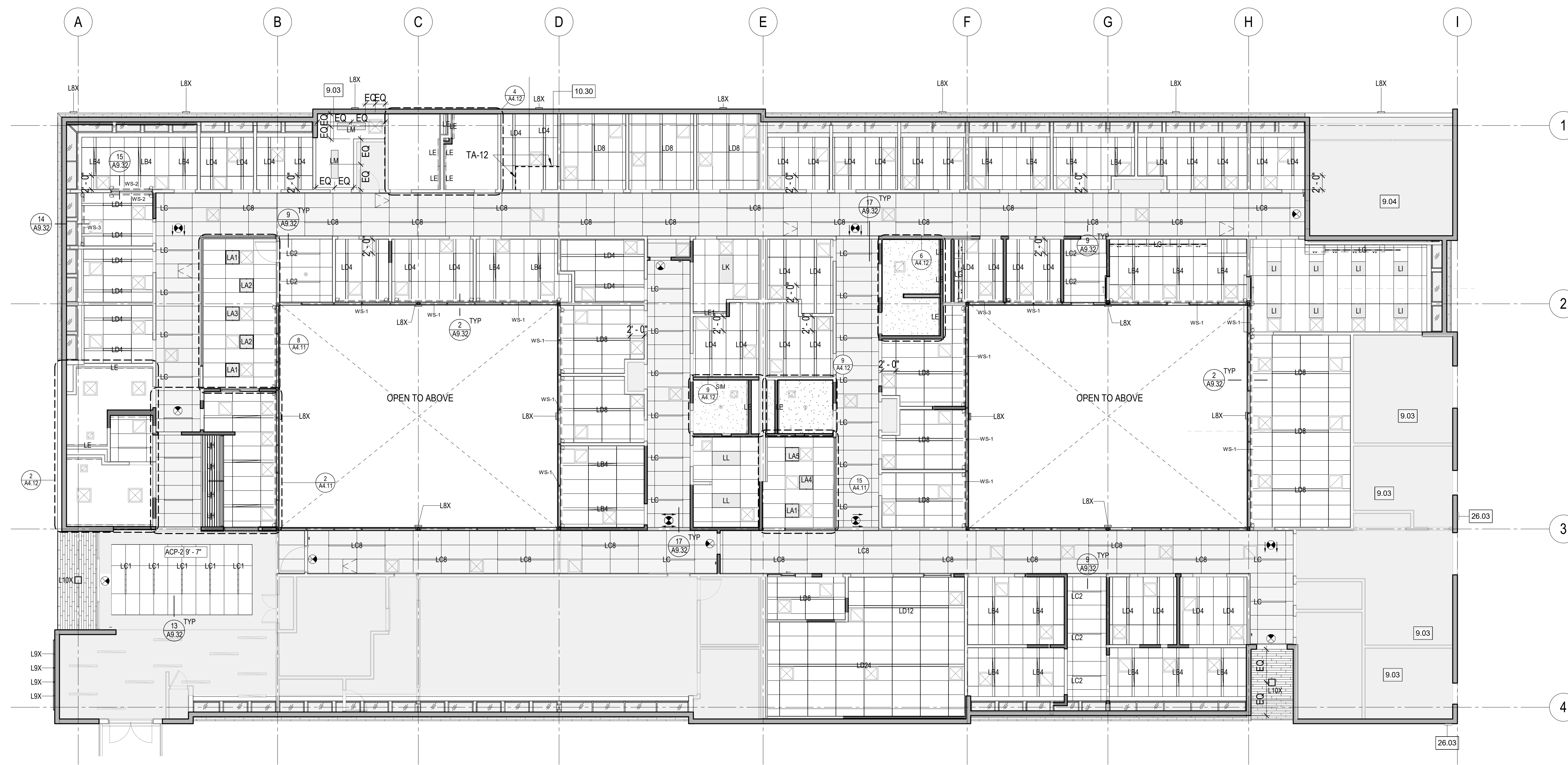
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SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION

2401 Keith Street, San Francisco, CA

Consultant



1 REFLECTED CEILING PLAN
1/8" = 1'-0"

GENERAL REFLECTED CEILING NOTES

1. CEILING HEIGHT 8'-10" AFF. UON
REFER TO ELEC DWG FOR LIGHTING FIXTURE SCHEDULE
CORRIDOR LIGHT FIXTURE SHALL BE SURFACE MOUNTED, TYP
AS SCHEDULED. REFER TO DETAIL 2/A9.32
2. NEW CEILING GRID LAYOUT SHALL BE COORDINATED WITH
EXISTING SPRINKLER HEADS TO REMAIN. GO TO VERY IN FIELD
AND NOTIFY CITY REPRESENTATIVE IMMEDIATELY OF ANY
CONFLICTS PRIOR TO PROCEEDING.
3. ADD SOUND ATTENUATION BATTS AT (E) AND (N) PARTITION PER
1/A9.10

KEYNOTES

9.03	(E) GYP CEILING TO REMAIN. PATCH & REFINISH AFTER ABOVE CEILING WORK. SEE CONSULTANT DWGS.
9.04	(E) PLASTER CEILING TO REMAIN. PATCH & REFINISH AFTER ABOVE CEILING WORK. SEE CONSULTANT DWGS.
10.30	PROVIDE & INSTALL NEW CEILING CURTAIN TRACK SYSTEM(CFCI) FOR CURTAIN(OFCI)
26.03	(E) EXTERIOR LIGHTING FIXTURE TO REMAIN. FIX BROKEN DOWN ELEMENTS AS REQUIRED

LEGEND

	SCHEDULED LIGHT FIXTURE: SEE LIGHTING PLAN AND SCHEDULE FOR MORE DETAIL		AREA NOT IN SCOPE OF WORK		EXIT SIGN
	LA1: 2X2 SURFACE MOUNTED, 2" HIGH, LAMINATED FABRIC FINISH: SKY #277 LA2: 2X2 SURFACE MOUNTED, 4" HIGH, LAMINATED FABRIC FINISH: CHARTREUSE #900 LA3: 2X2 SURFACE MOUNTED, 6" HIGH, LAMINATED FABRIC FINISH: GOLD #221 LA4: 2X2 SURFACE MOUNTED, 6" HIGH, LAMINATED FABRIC FINISH: CHARTREUSE #900 LA5: 2X2 SURFACE MOUNTED, 4" HIGH, LAMINATED FABRIC FINISH: BLUEBONNET #405		SUSPENDED ACOUSTIC CEILING PANEL; CENTER IN ROOM, U.O.N		SUPPLY GRILL, SMD
	LB4: 4" WIDE RECESSED LINEAR, 4FT LONG LB5: SURFACE MOUNTED AT HARD LID CEILING, 4FT LONG LB6: SURFACE MOUNTED AT HARD LID CEILING, 8FT LONG LB7: SURFACE MOUNTED AT T-BAR CEILING, 4FT LONG LB8: 4" WIDE RECESSED LINEAR, 8FT LONG		DIRECTLY GLUED ACOUSTIC CEILING PANEL CENTER IN ROOM, U.O.N		RETURN GRILL, SMD
	LD4: 4" WIDE RECESSED LINEAR, 4FT LONG LD8: 4" WIDE RECESSED LINEAR, 8FT LONG LD12: 4" WIDE RECESSED LINEAR, 12FT LONG LD24: 4" WIDE RECESSED LINEAR, 24FT LONG		(N) SUSPENDED GYP BD CEILING, UON		NEW ACCESS PANEL REPLACING EXISTING IN THE SAME LOCATION SEE 20/A9.32
	LE: RECESSED PERIMETER AT GYP CEILING LE1: RECESSED PERIMETER AT T-BAR CEILING LF: RECESSED PERIMETER AT GYP CEILING		(E) PLASTER CEILING TO REMAIN		ALIGN
	LH: RECESSED DOWNLIGHT AT WOOD GRILL LI: RECESSED 2X2 LJ: RECESSED 2X4 LK: RECESSED 2X4 AT STORAGE				
	LM: RECESSED 2X2 AT STORAGE LBX: EXTERIOR BUILDING WALL MOUNT LBX: EXTERIOR BUILDING AT SIGNAGE LIX: EXTERIOR BUILDING AT ENTRY				

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Drawing Title

REFLECTED CEILING PLAN

Sheet No. **A6.11**

Scale: As indicated

Project No. PW-DPH-2213

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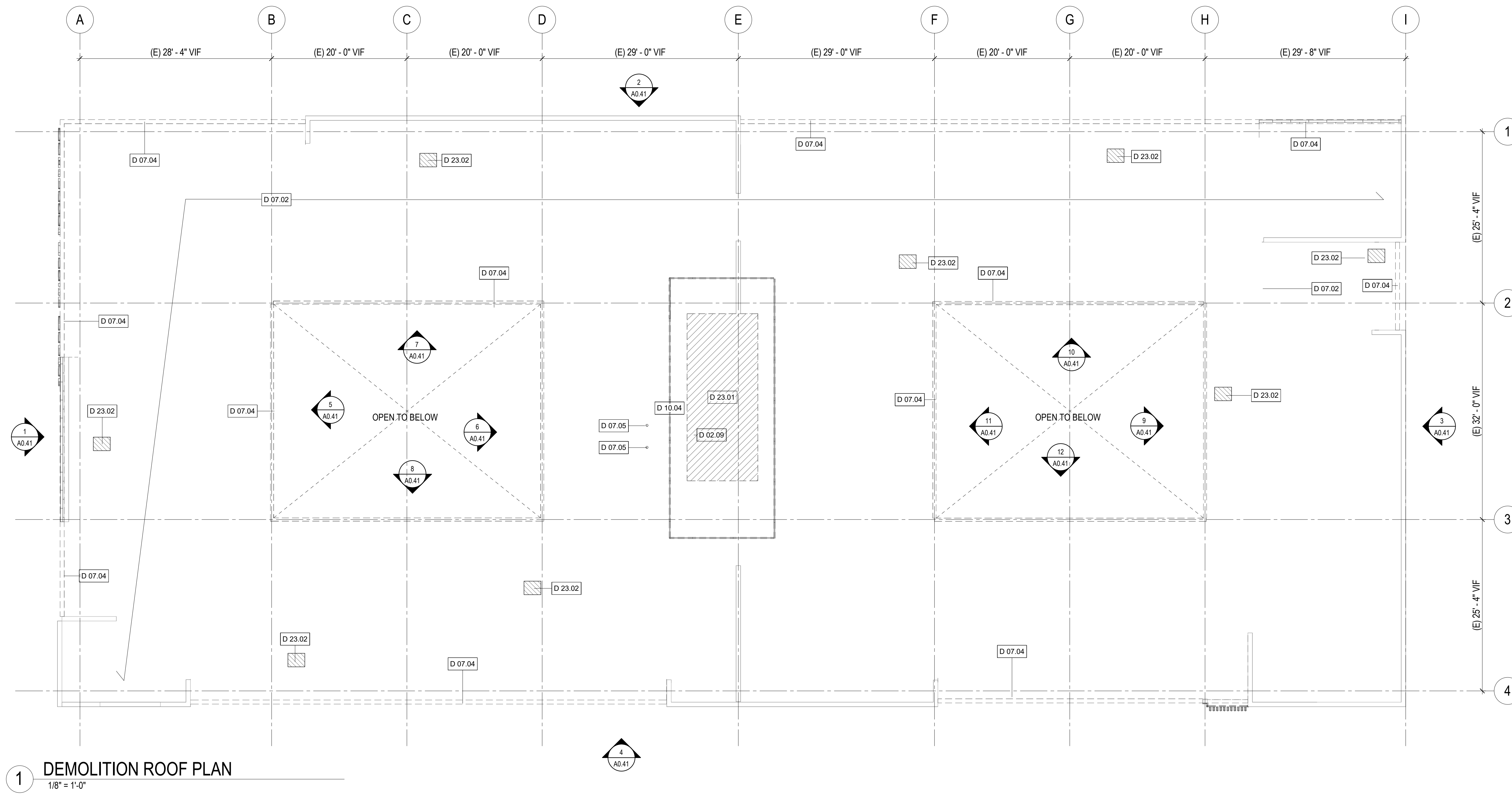
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SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION

2401 Keith Street, San Francisco, CA

Consultant



1 DEMOLITION ROOF PLAN
1/8" = 1'-0"

DEMOLITION ROOF PLAN GENERAL NOTES

- REFER TO DEMOLITION GENERAL NOTES IN SHEET A0.21
- WHERE EXHAUST FANS ARE REQUIRED TO BE DEMOLISHED, EXHAUST FAN SHAFTS SHALL BE CAPPED OFF BY QUALIFIED ROOFING SUBCONTRACTOR, SMD

KEY NOTES

D 02.09	(E) CONCRETE PAD, (E) TRANSITION CURB ADAPTER, AND (E) ROOF SUPPORT CURB TO REMAIN FOR NEW AHU. SMD
D 07.02	(E) ROOFING TO REMAIN. REFER TO NEW ROOF PLAN AND CONSULTANT DWGS FOR LOCAL DEMOLITION, REPAIR/PATCH ROOFING AND FRAMING TO MATCH EXISTING WHERE REQUIRED.
D 07.04	REMOVE (E) METAL COPING COVER ONLY AT EXTERIOR SIDING TO BE DEMOLISHED, TYP
D 07.05	LOCALLY DEMOLISH (E) ROOFING FOR (N) PENETRATION, SEE A.8.22 AND SPD
D 10.04	REMOVE (E) ROOF SCREEN. LEAVE STRUCTURAL ANCHORS AND PEDESTAL SUPPORT IN PLACE TO AVOID ROOF DAMAGE, PATCH AND REPAIR AS INDICATED ON ROOF PLAN
D 23.01	REMOVE (E) AHU. SMD
D 23.02	REMOVE (E) EXHAUST FANS, SMD, TYP.

LEGEND

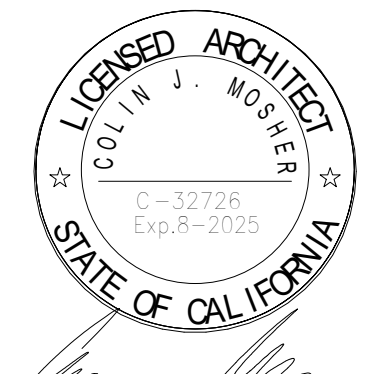
- NOT IN ARCHITECTURAL SCOPE OF WORK
- WOOD SIDING TO BE DEMOLISHED
- WALL TO REMAIN
- EQUIPMENT TO BE DEMOLISHED SEE MECH AND ELEC DWG



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Drawing Title

DEMOLITION ROOF PLAN

Sheet No. **A0.22**

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Project No. PW-DPH-2213



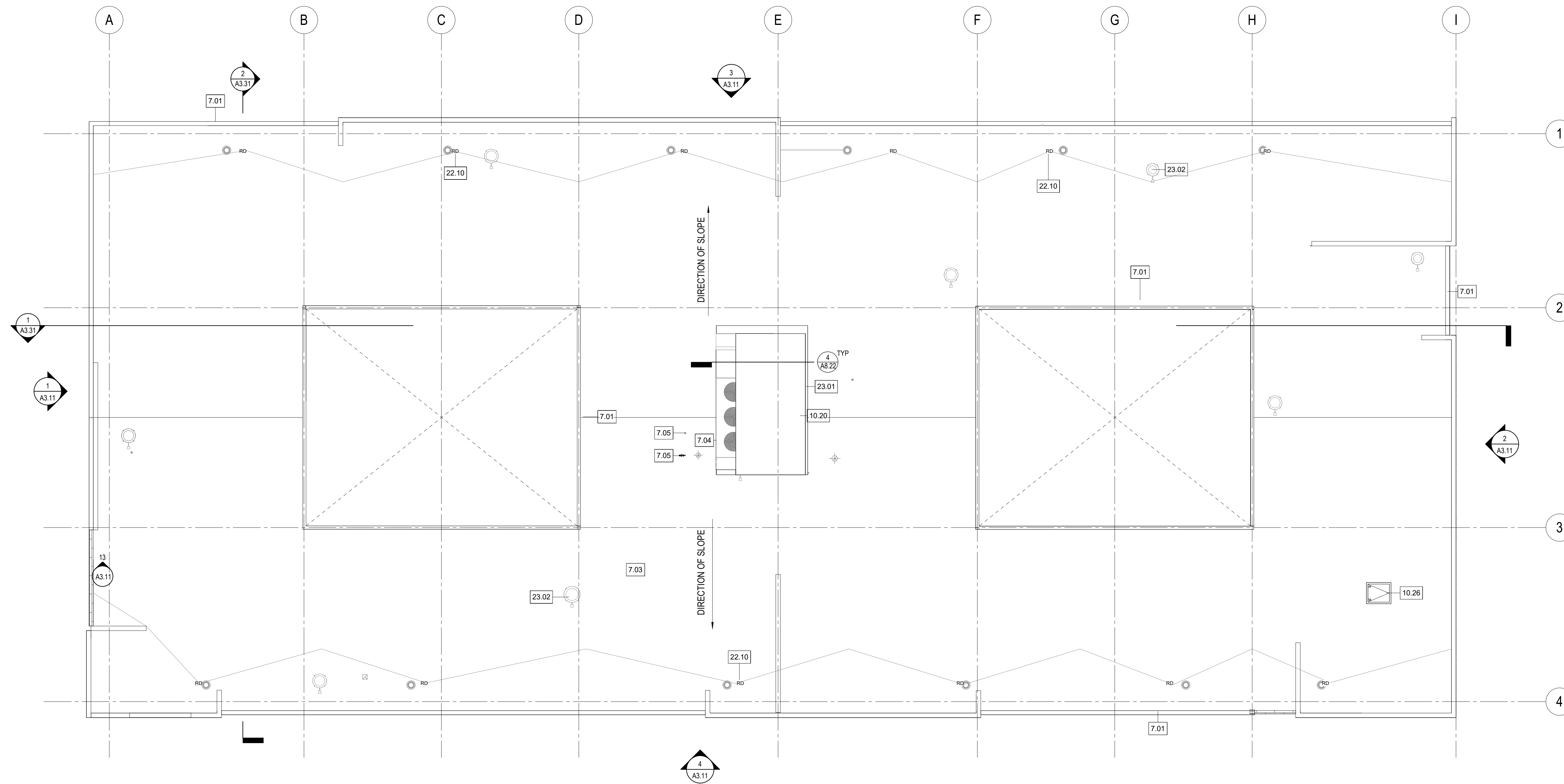
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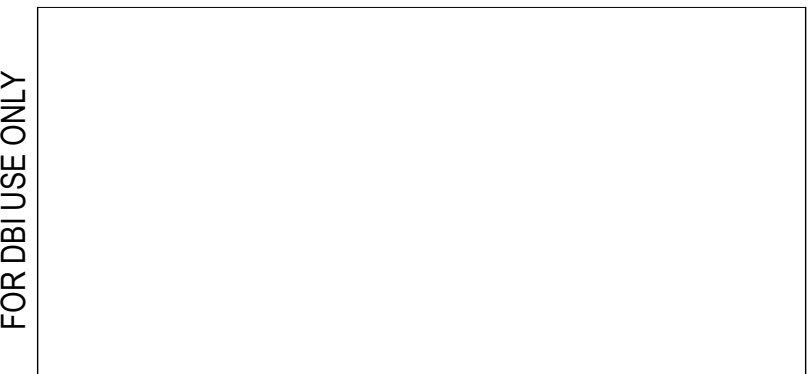
SOUTHEAST HEALTH CENTER
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1 ROOF PLAN
 1/8" = 1'-0"



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ROOF PLAN GENERAL NOTES

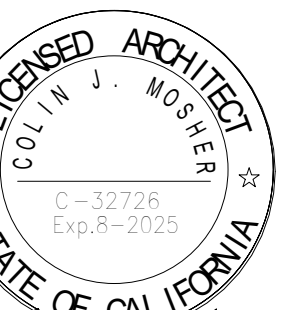
7.01	NEW EXTERIOR SIDING PANEL AND NEW COPING COVER. SEE DETAIL SHEET A8.21
7.03	(E) ROOF. REPAIR/PATCH ROOFING AND FRAMING TO MATCH EXISTING WHERE REQUIRED PER DETAILS IN A8.22
7.04	PATCH AND REINFORCE ROOFING IN THE FORM OF 8" STRIP AT PERIMETER AT NEW CAP FLASHING AND AREA AROUND AHU WITHIN A 5' RADIUS OF THE UNIT TO REPAIR DAMAGE OF THE MEMBRANE WHILE INSTALLING NEW AHU
7.05	PATCH AND REINFORCE ROOFING AT (N) PENETRATION, SEE A.8.22 AND SPD
10.20	PROVIDE GALVANIZED METAL CAP AND SEAL AT REMOVED ROOF SCREEN. SEE DETAIL 15/A8.22
10.26	(E) ROOF HATCH TO REMAIN. RESTORE RUSTED AREAS OF (E) ROOF HATCH. SAND DOWN & CLEAN RUSTED SURFACES OF EXPOSED METAL & REFINISH WITH METAL PRIMER & COATING TO PROTECT SURFACES
22.10	(E) ROOF DRAIN. SPD
23.01	(N) AHU WITH NEW CAP FLASHING PER MFR STANDARD OVER (E) CONCRETE PAD. (E) TRANSITION CURB ADAPTER AND (E) ROOF SUPPORT CURB. SMD AND DETAIL 4/A8.22
23.02	(N) EXHAUST FANS. SEE DETAIL SHEET A.8.22 AND SMD, TYP.

KEYNOTES

LEGEND

RD EXISTING ROOF DRAIN

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Drawing Title

ROOF PLAN

Sheet No.

A2.22

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Project No.

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**SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION**

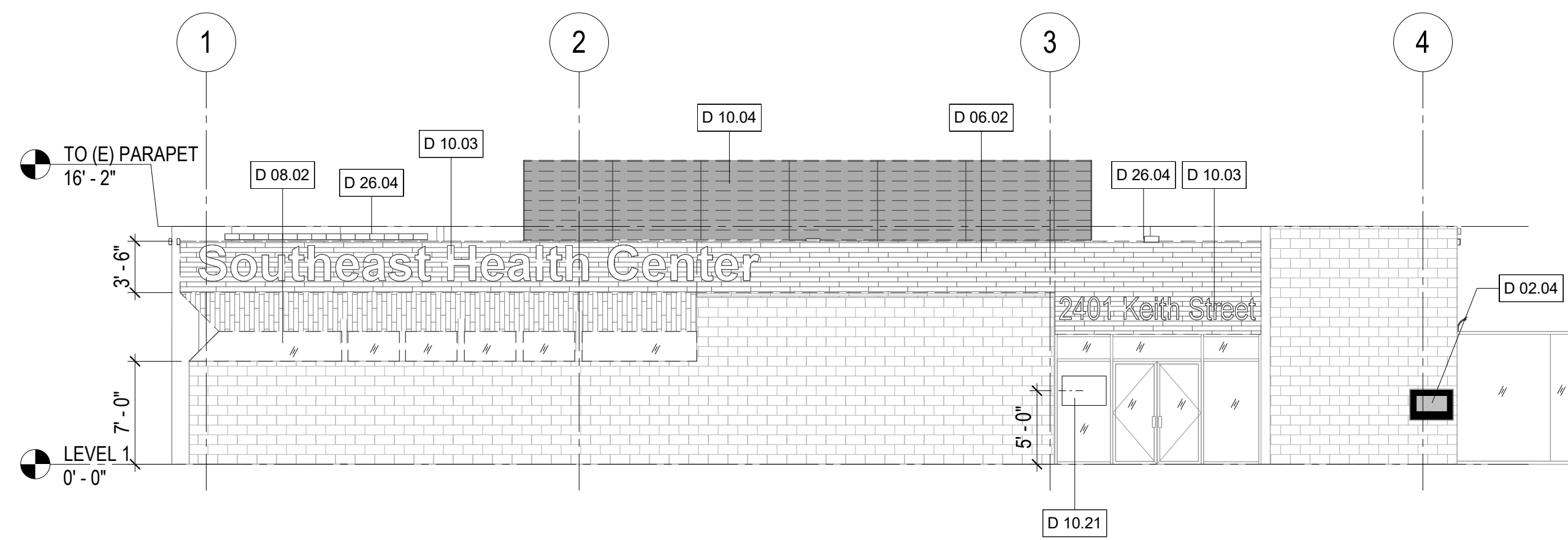
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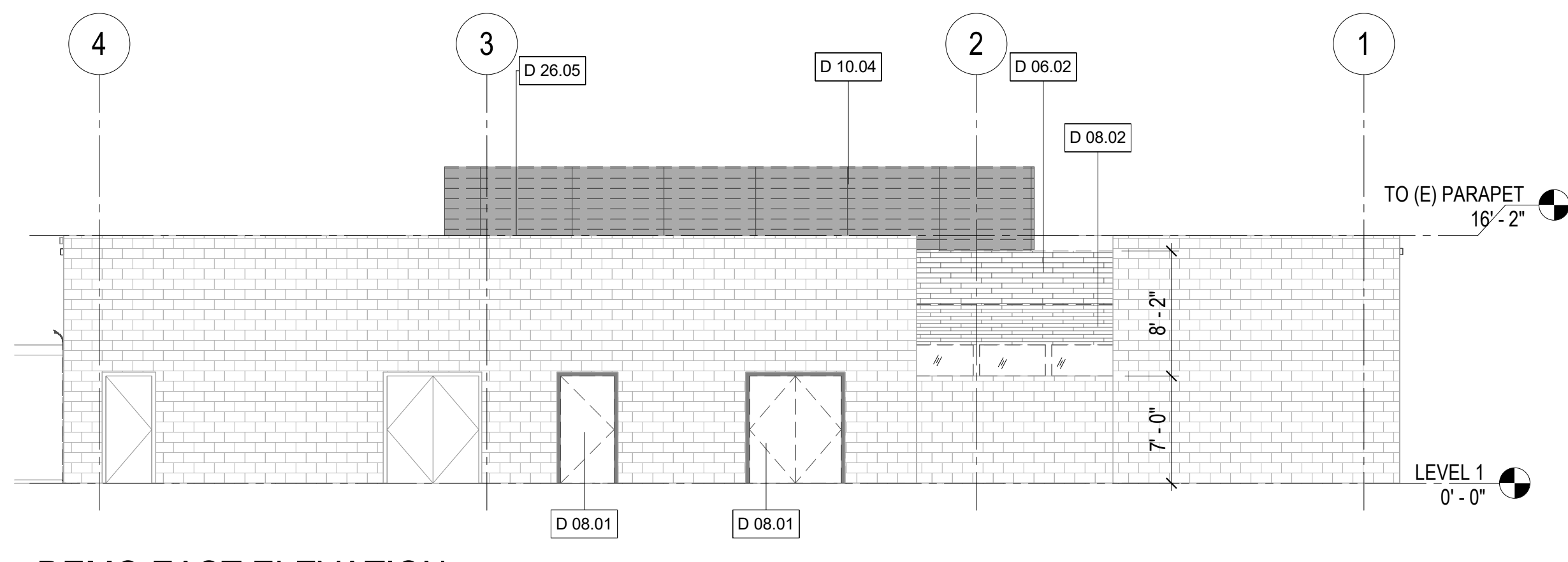
GENERAL NOTES

1. REMOVE ALL WOOD SIDING AND BUILDING PAPER AT EXTERIOR AND AT BOTH COURTYARDS.

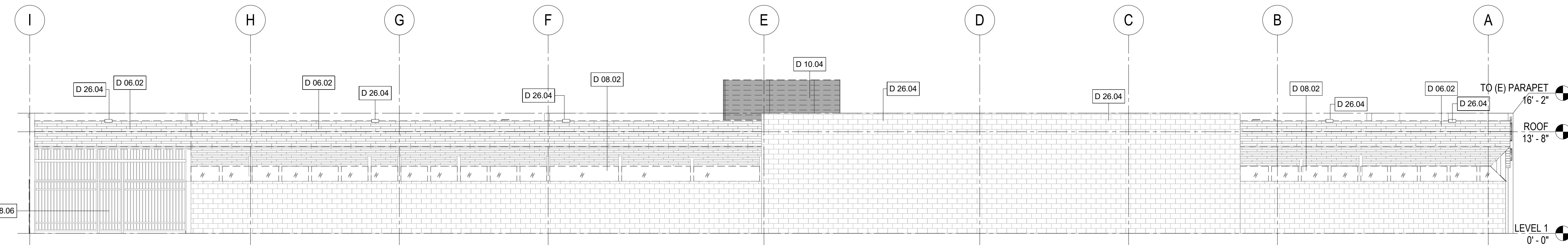
D 02.04	(E) PLAQUE TO REMAIN
D 06.02	REMOVE (E) WOOD SIDING, WOOD SOFFIT AND BUILDING PAPER, TYP. SEE ELEVATIONS FOR ADDITIONAL INFORMATION
D 08.01	REMOVE (E) DOOR AND FRAME ASSEMBLY TO ROUGH OPENING. DISCARD OR SALVAGE AS DIRECTED BY OWNER.
D 08.02	REMOVE (E) WINDOW AND FRAME ASSEMBLY TO ROUGH OPENING
D 08.03	REMOVE (E) STOREFRONT ASSEMBLY TO ROUGH OPENING, TYP
D 08.06	(E) SECURITY FENCE AND GATE TO REMAIN. REMOVE A HASP LATCH AND PREPARE TO RECEIVE NEW HARDWARE.
D 10.03	REMOVE (E) BUILDING SIGNAGE AND ANCHORS
D 10.04	REMOVE (E) ROOF SCREEN. LEAVE STRUCTURAL ANCHORS AND PEDESTAL SUPPORT IN PLACE TO AVOID ROOF DAMAGE. PATCH AND REPAIR AS INDICATED ON ROOF PLAN
D 10.06	REMOVE (E) SECURITY FENCE AND PATCH/REPAIR CMU WALL AS REQUIRED PER SPEC 040120
D 10.21	PROVIDE & INSTALL TEMPORARY CONSTRUCTION PHASE PROJECT SIGN ON INTERIOR SIDE OF GLASS PRIOR TO START OF DEMOLITION. CONTRACTOR SHALL COORDINATE WITH CITY REPRESENTATIVE FOR FINAL SIGNAGE DESIGN BEFORE FABRICATION
D 26.04	REMOVE (E) EXTERIOR LIGHT FIXTURE. SEE ELEC DRAWINGS FOR MORE DIRECTIONS.
D 26.05	(E) EXTERIOR LIGHT FIXTURE ON CMU WALL TO REMAIN. FIX BROKEN SENSOR AND ASSOCIATED ELEMENT FOR NORMAL WORKING



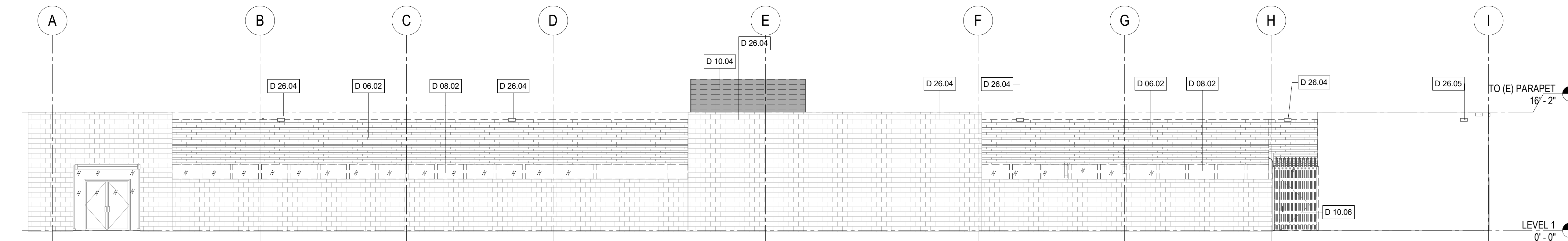
1 DEMO WEST ELEVATION
1/8" = 1'-0"



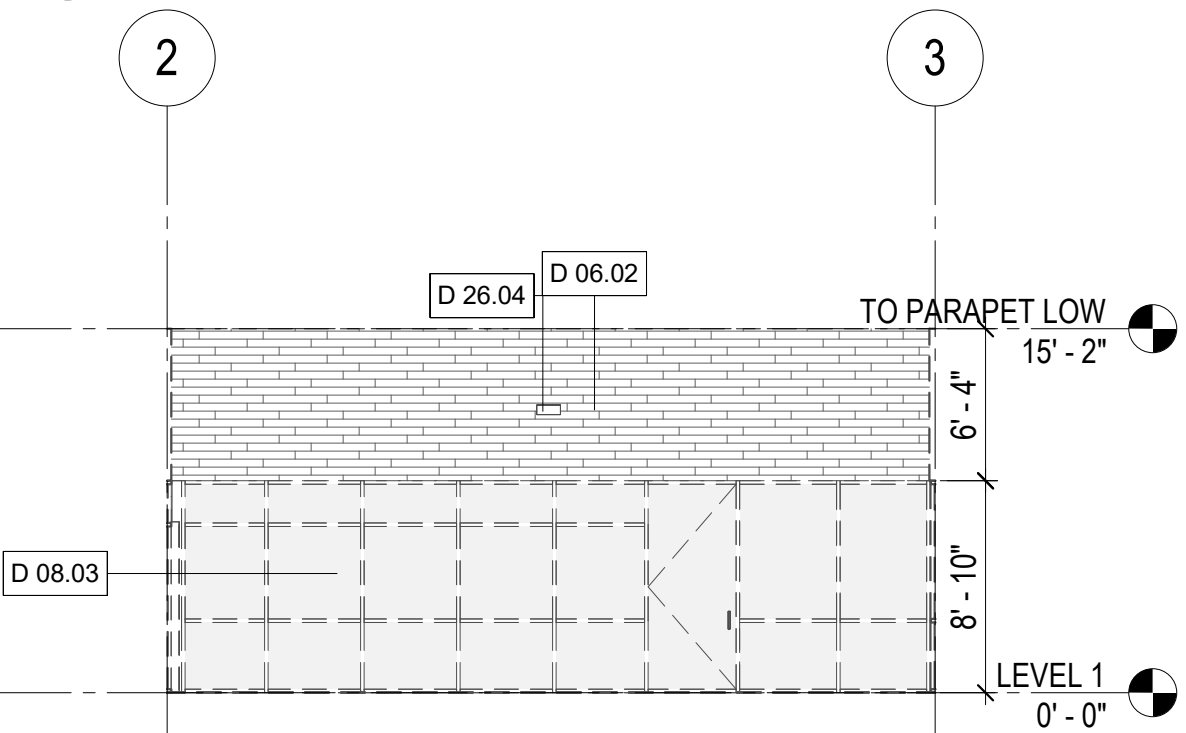
3 DEMO EAST ELEVATION
1/8" = 1'-0"



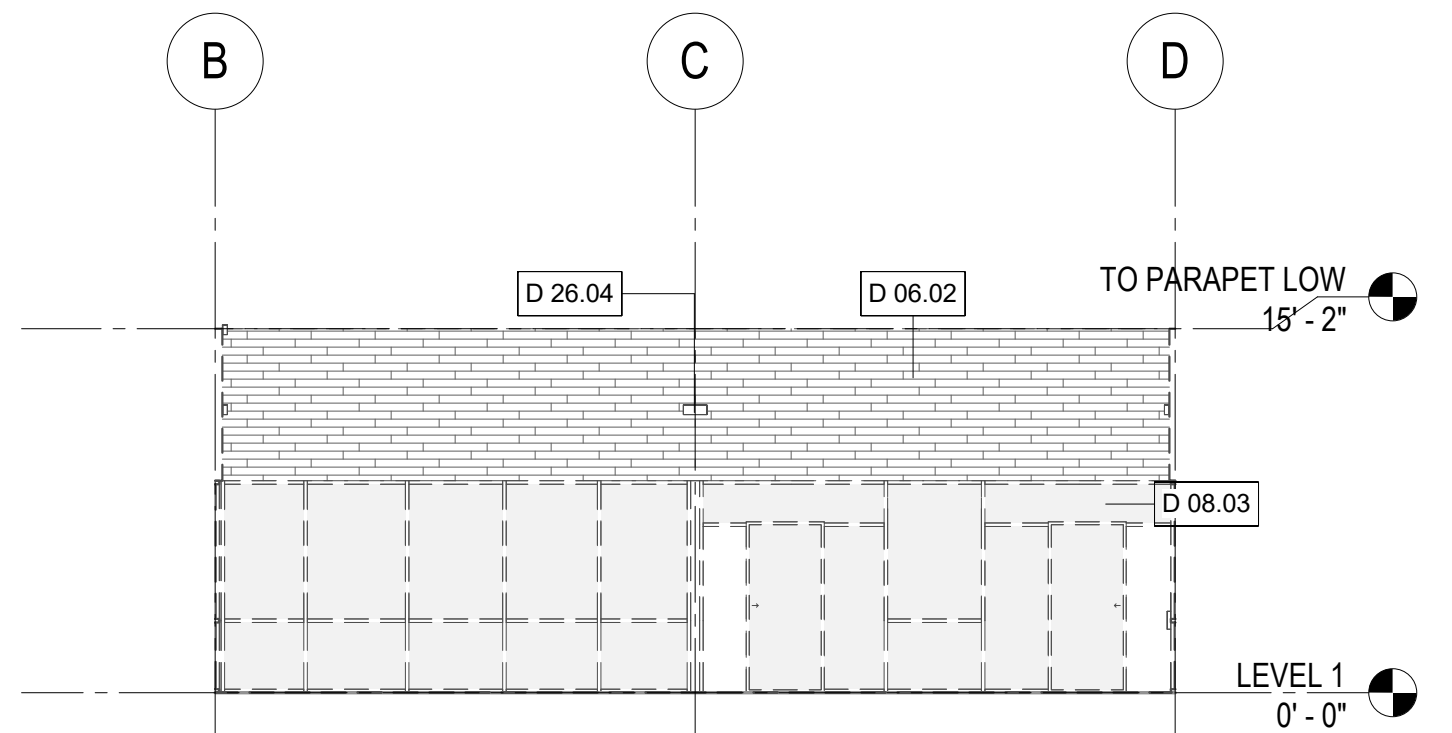
2 DEMO NORTH ELEVATION
1/8" = 1'-0"



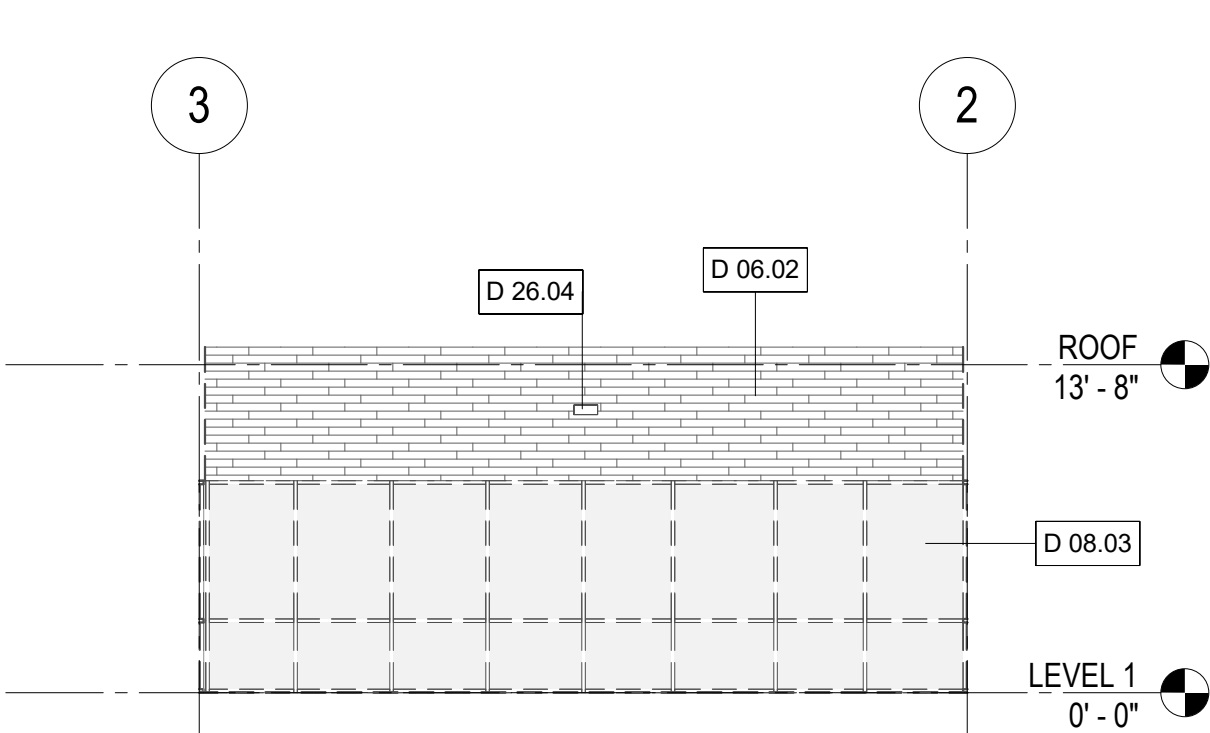
4 DEMO SOUTH ELEVATION
1/8" = 1'-0"



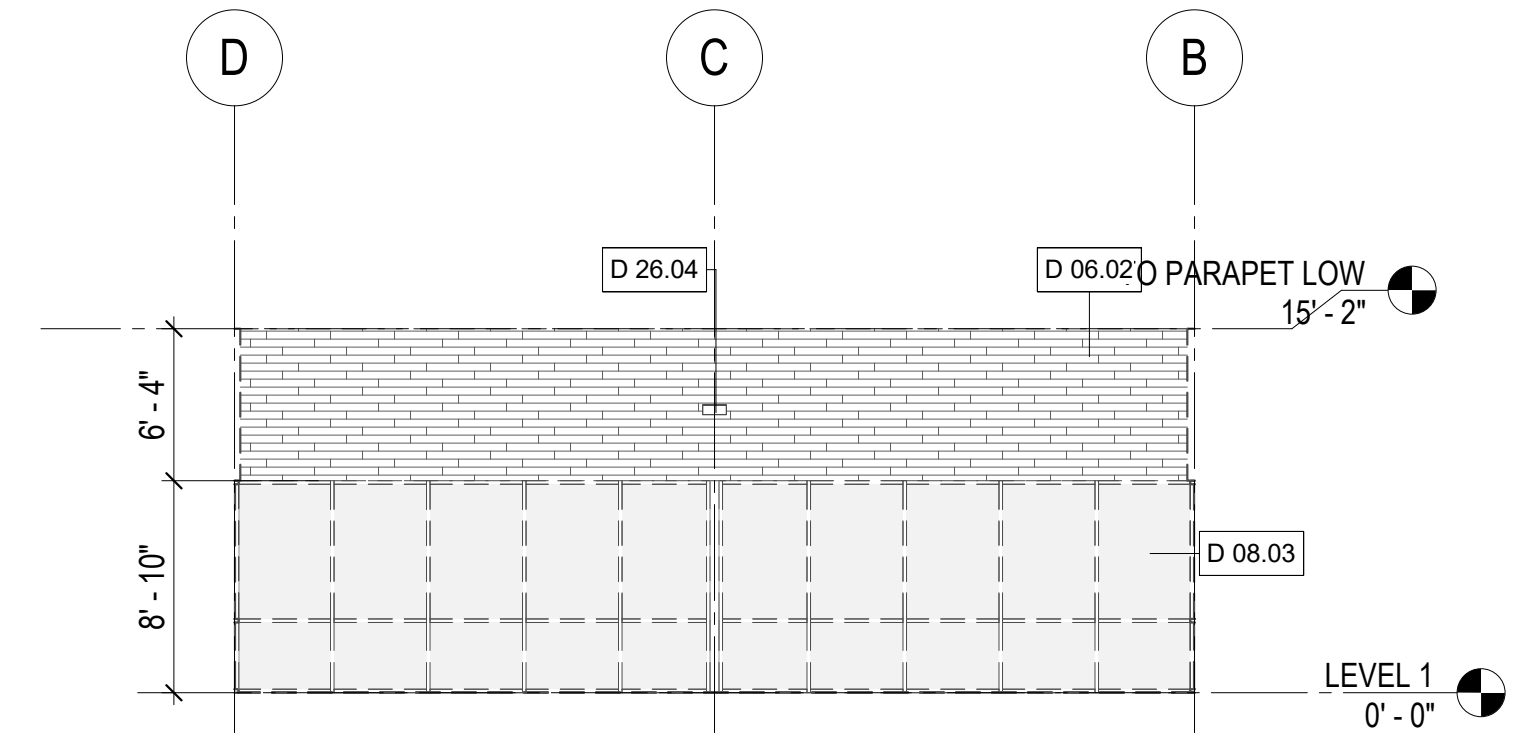
6 DEMO ELEVATION - COURTYARD A EAST
1/8" = 1'-0"



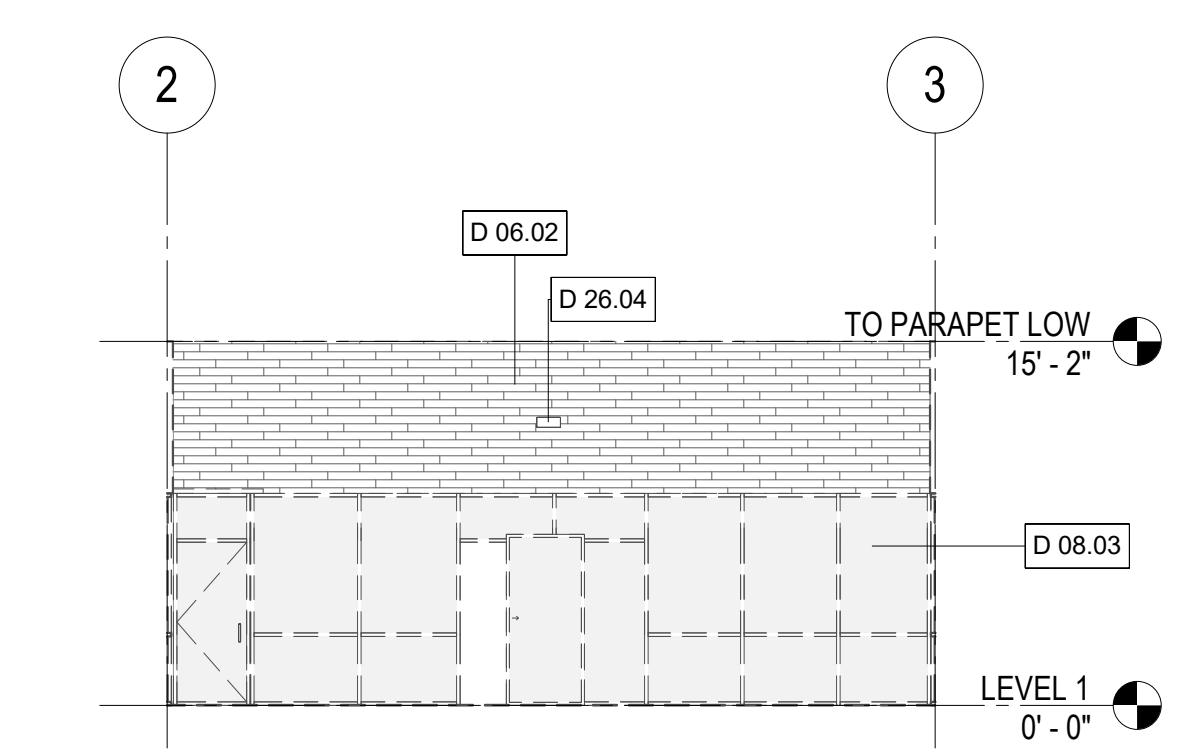
7 DEMO ELEVATION - COURTYARD A NORTH
1/8" = 1'-0"



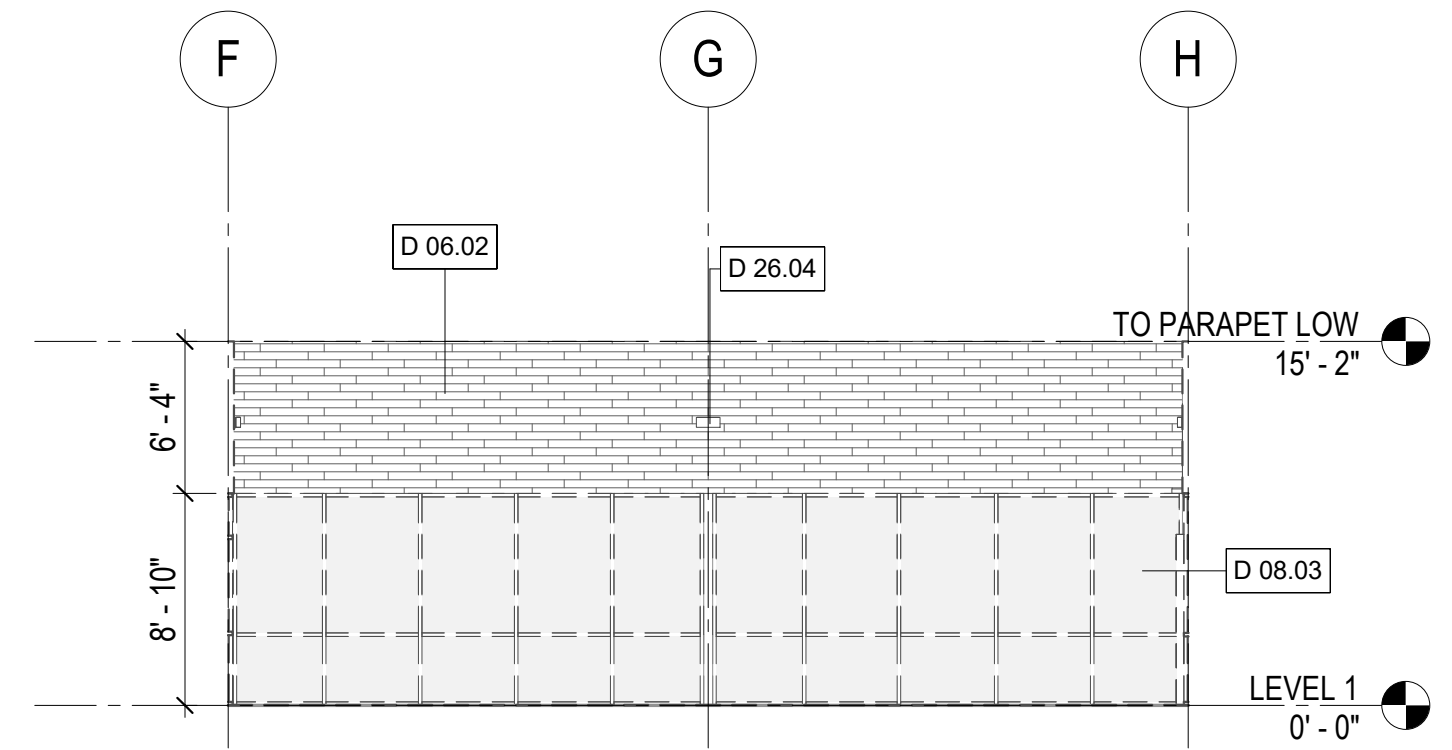
5 DEMO ELEVATION - COURTYARD A WEST
1/8" = 1'-0"



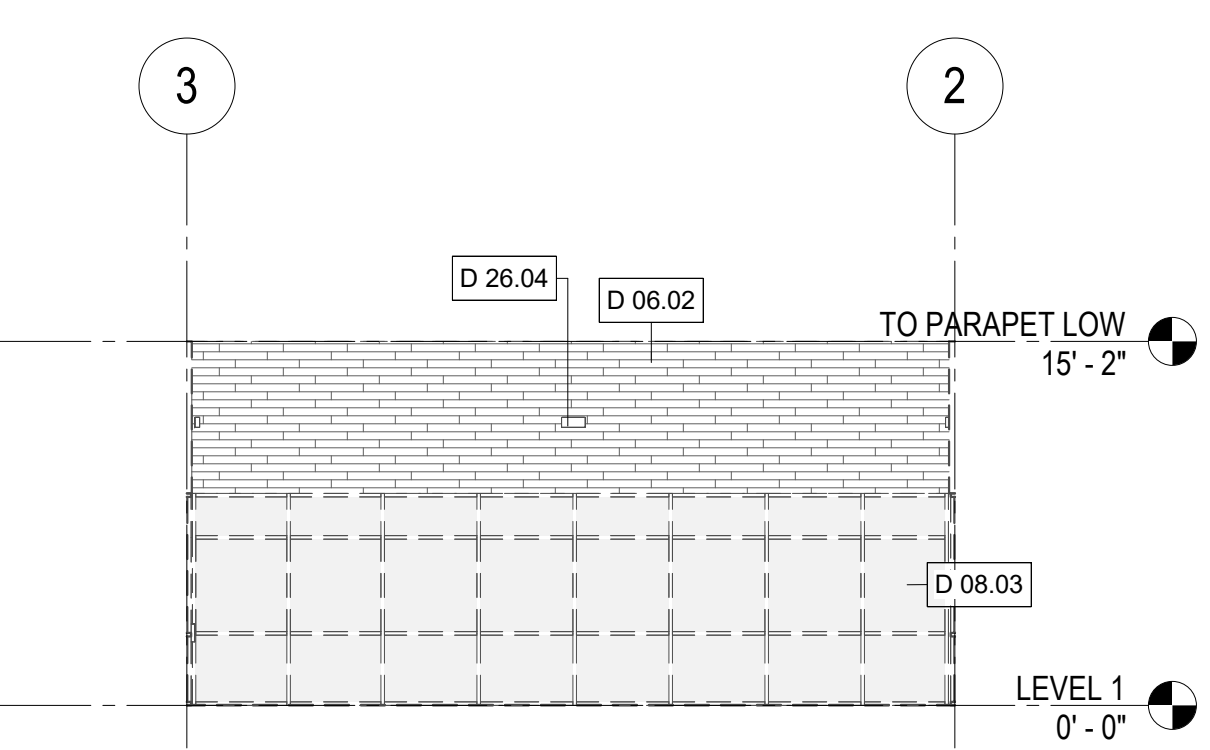
8 DEMO ELEVATION - COURTYARD A SOUTH
1/8" = 1'-0"



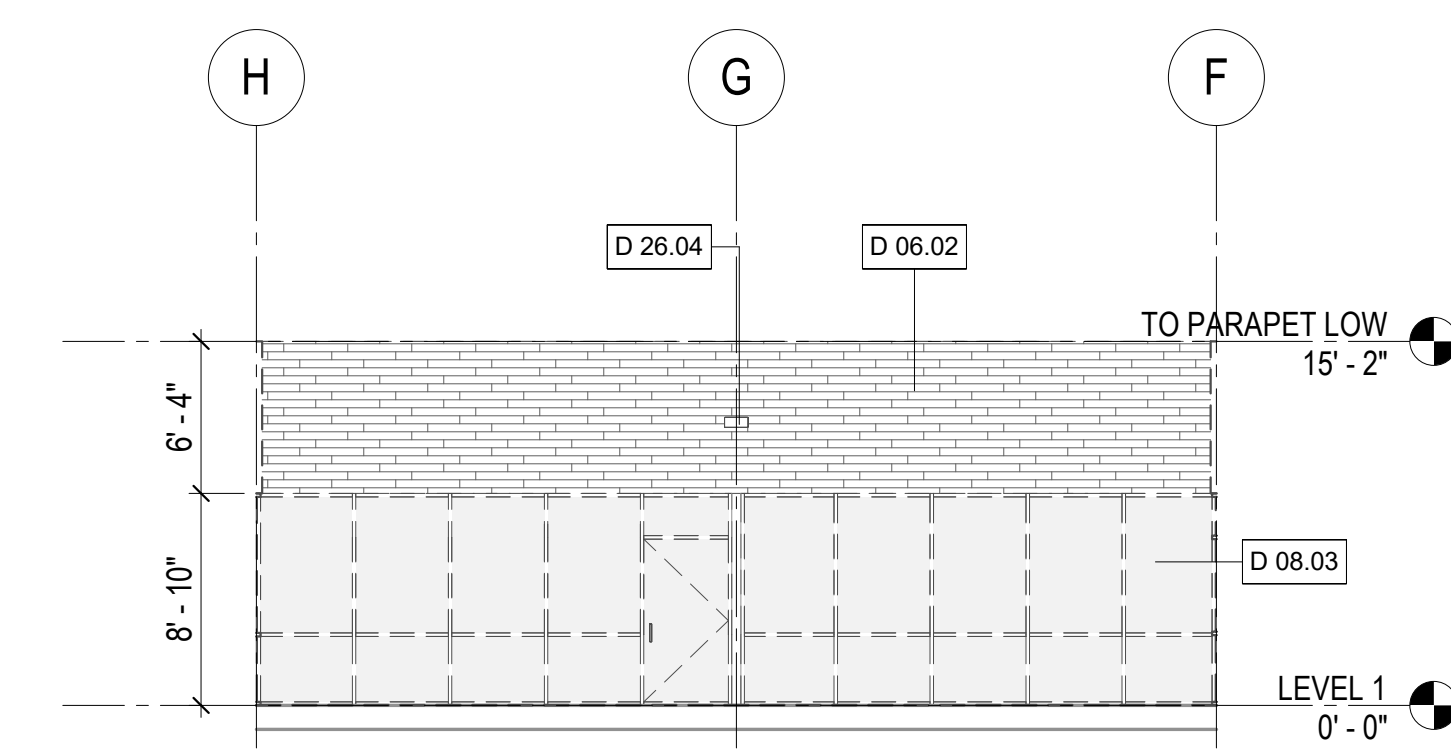
9 DEMO ELEVATION - COURTYARD B EAST
1/8" = 1'-0"



10 DEMO ELEVATION - COURTYARD B NORTH
1/8" = 1'-0"



11 DEMO ELEVATION - COURTYARD B WEST
1/8" = 1'-0"



12 DEMO ELEVATION - COURTYARD B SOUTH
1/8" = 1'-0"

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Drawing Title

DEMOLITION BUILDING ELEVATIONS

Sheet No. **A0.41**

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Project No. PW-DPH-2213

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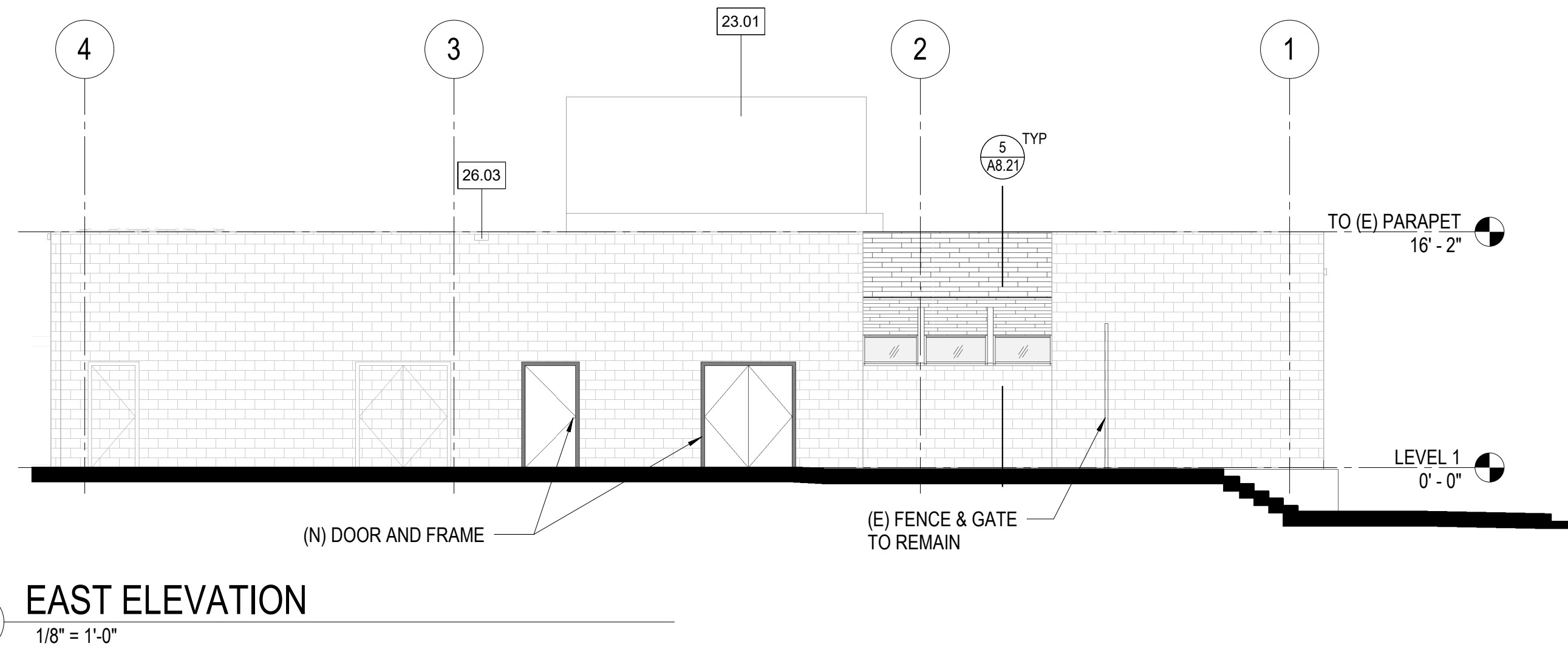
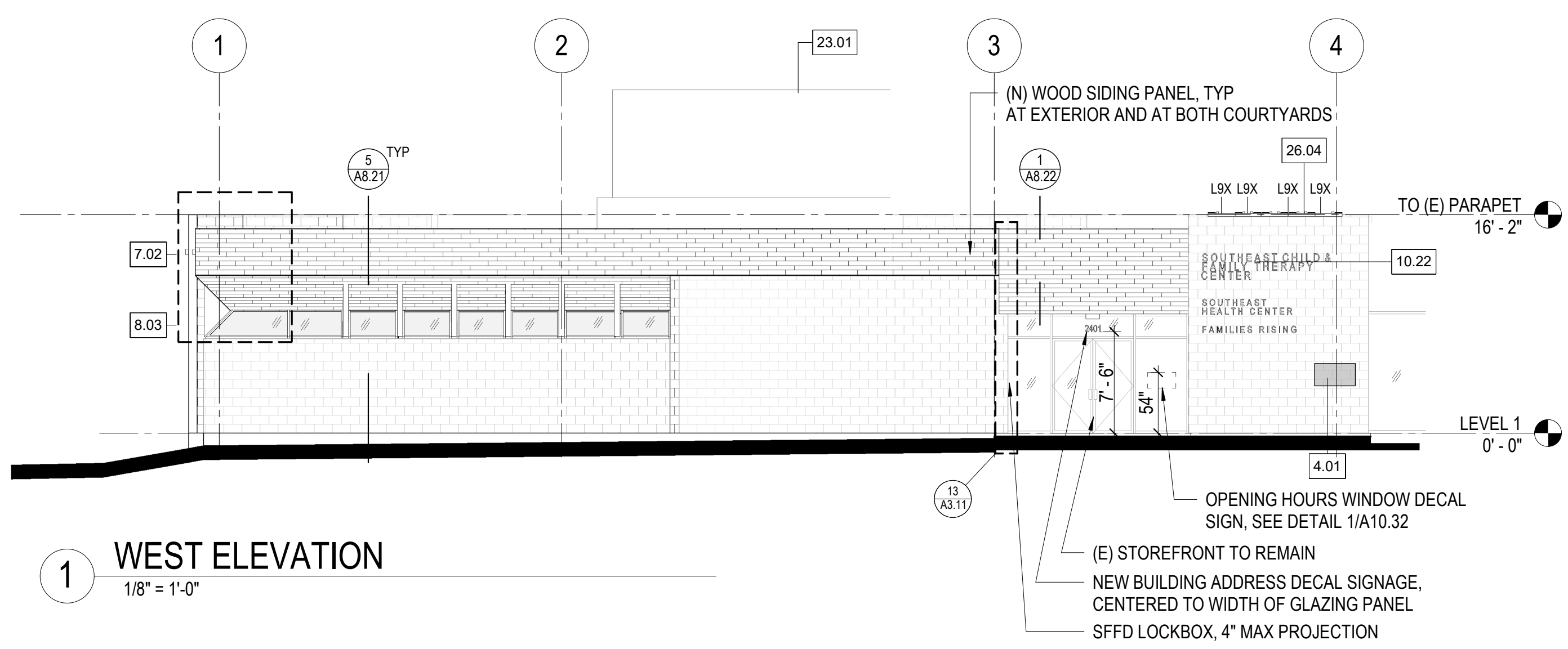
Ron Almeida - City Architect

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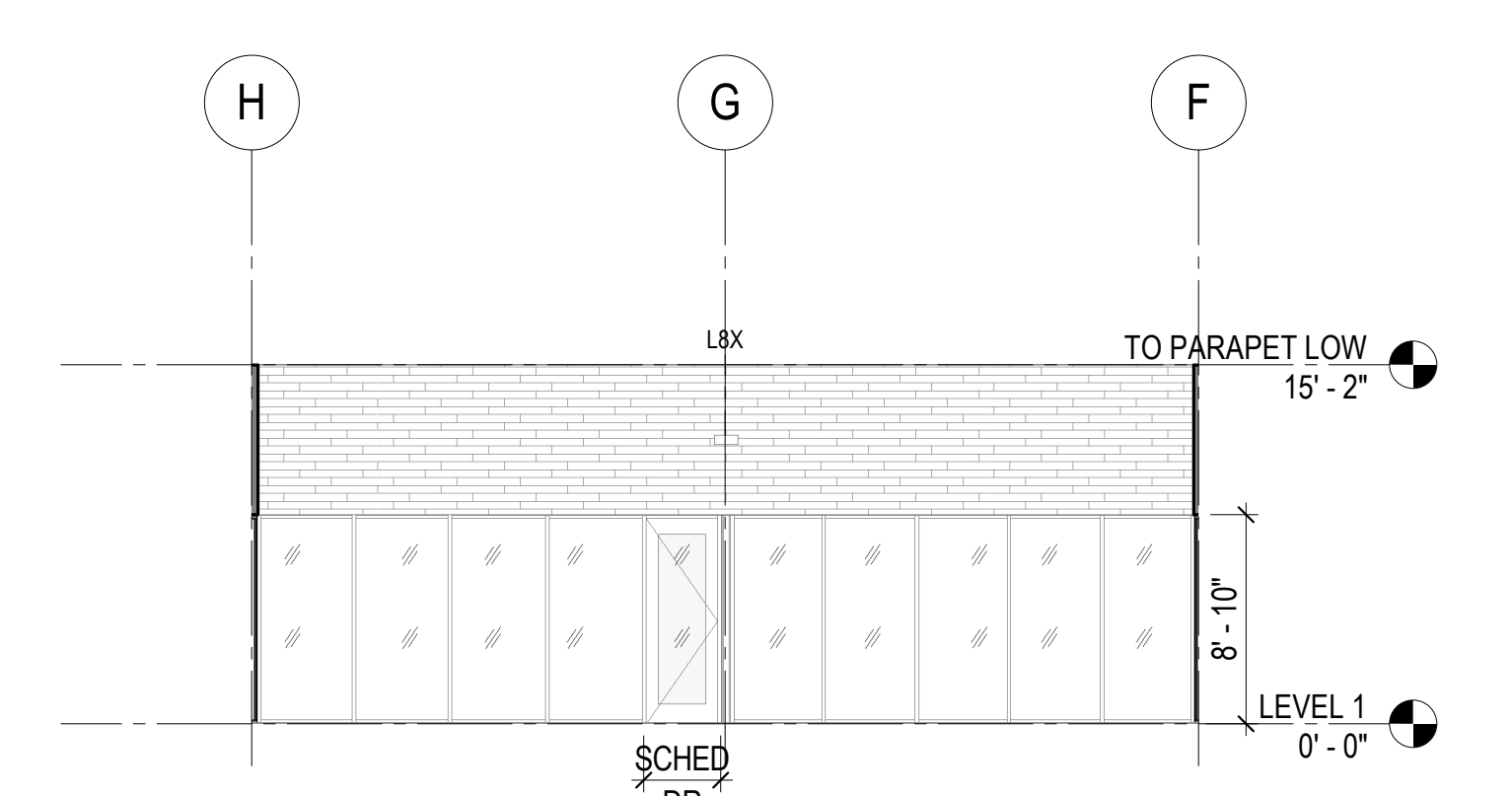
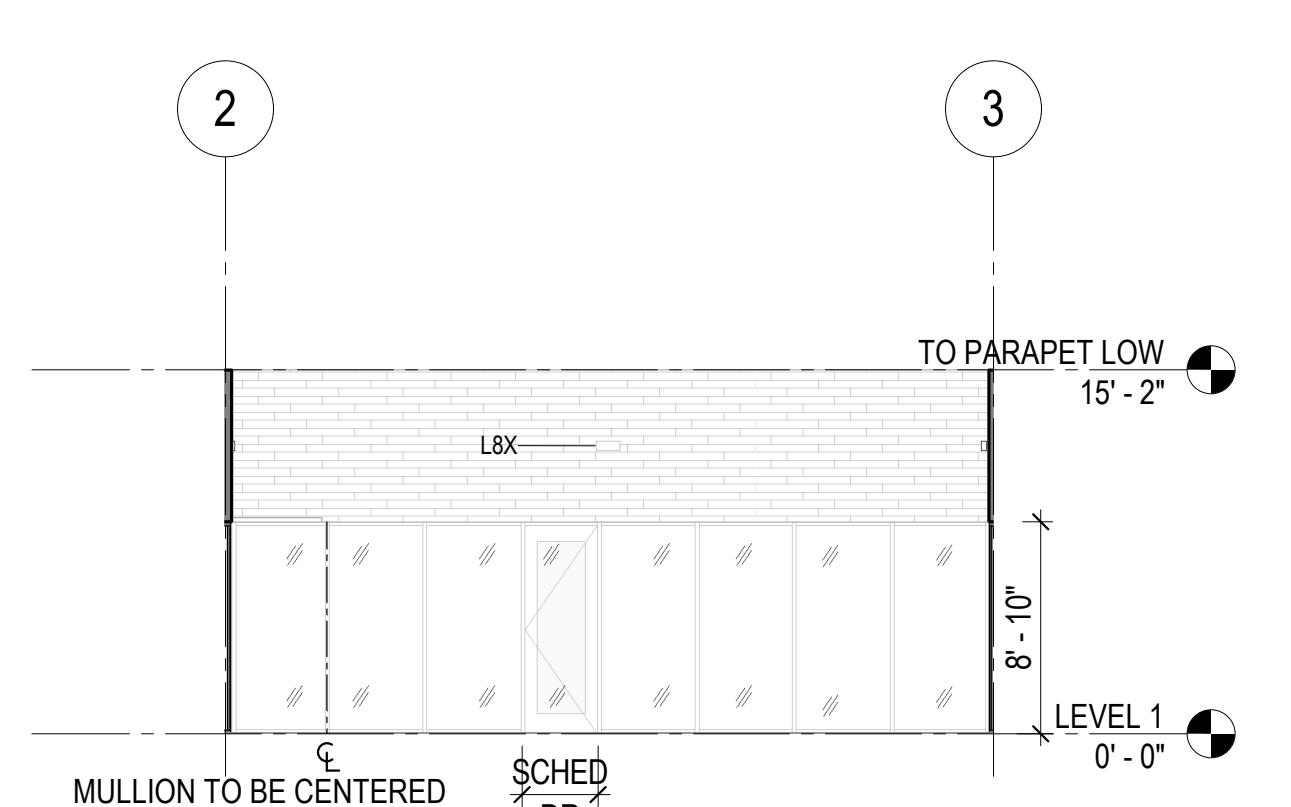
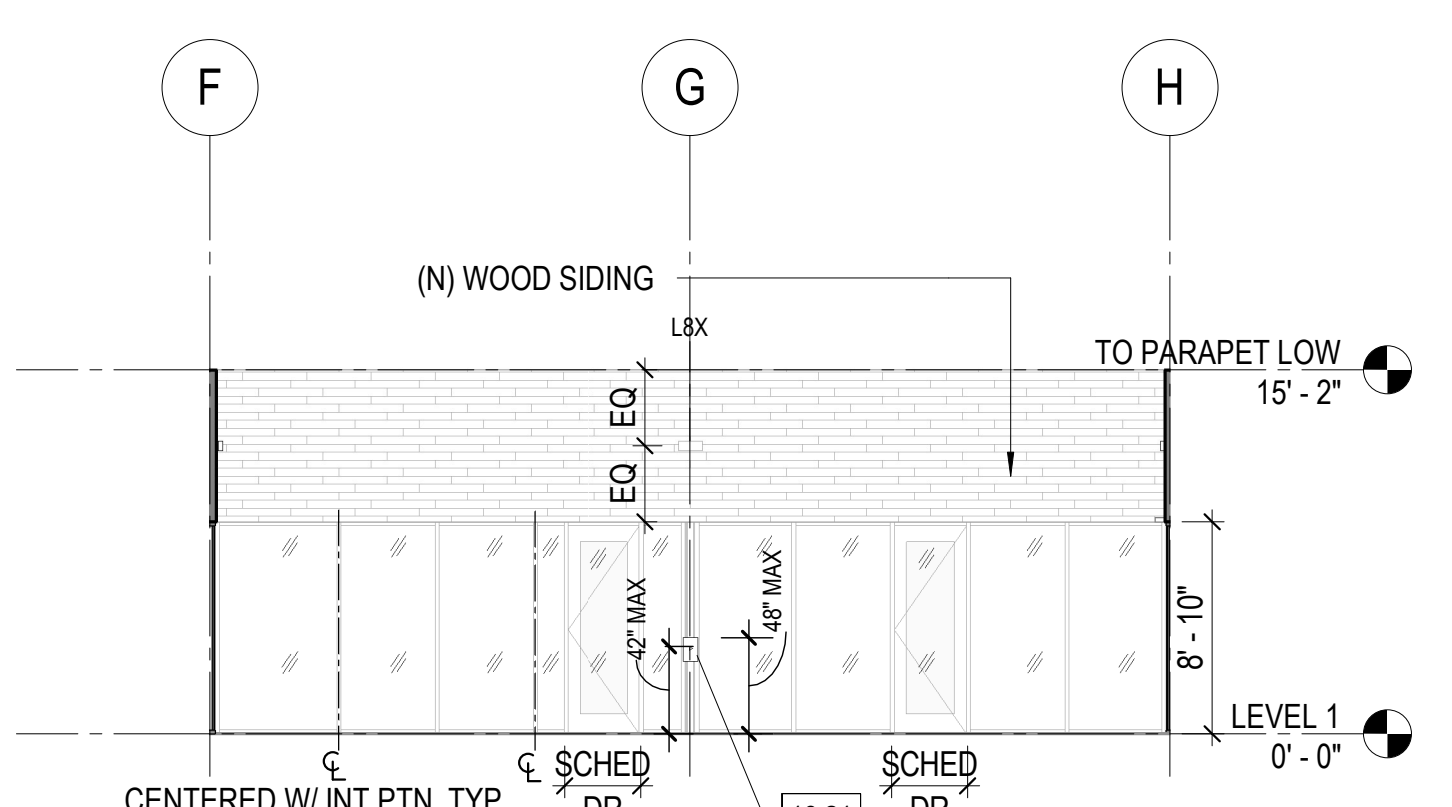
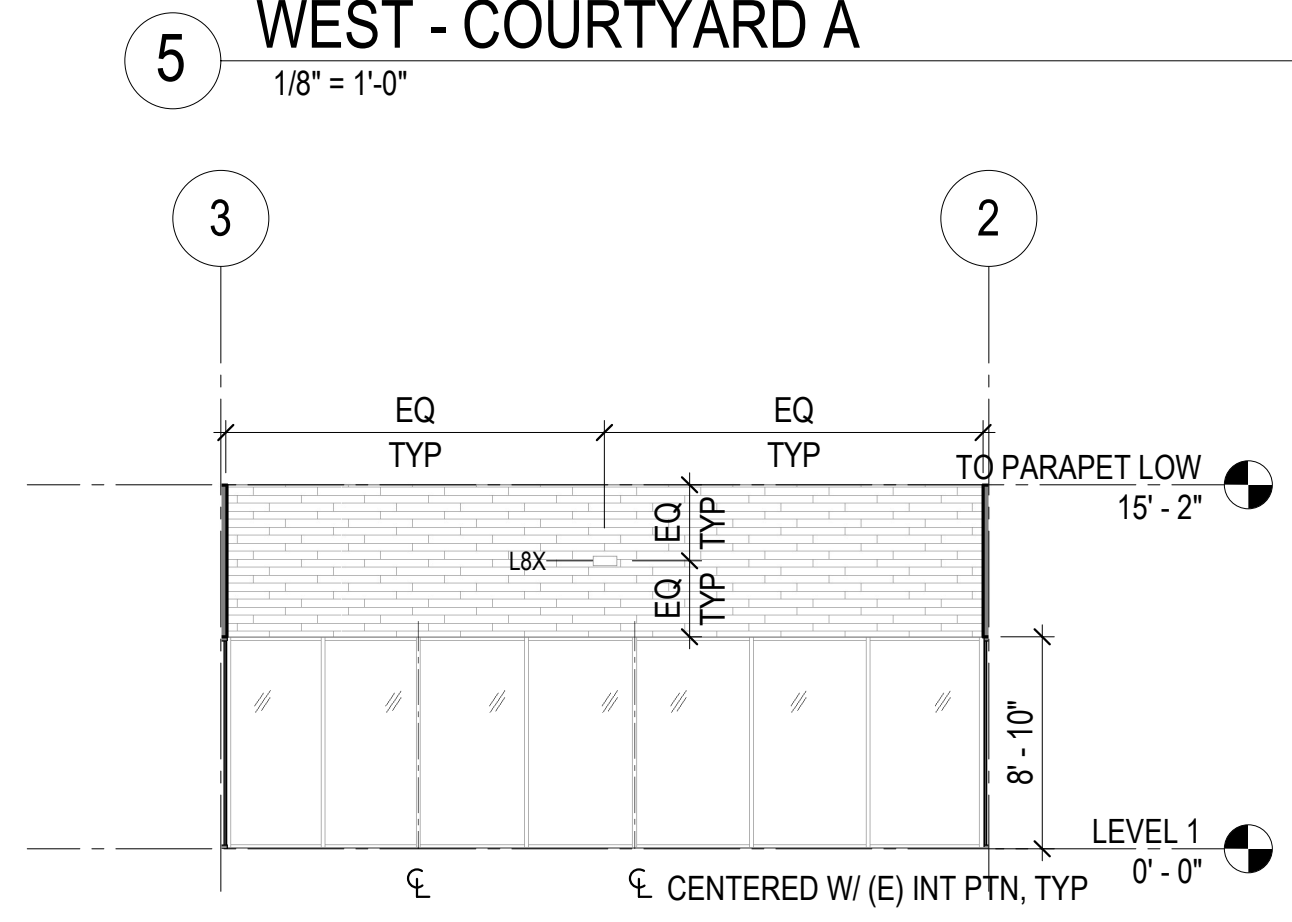
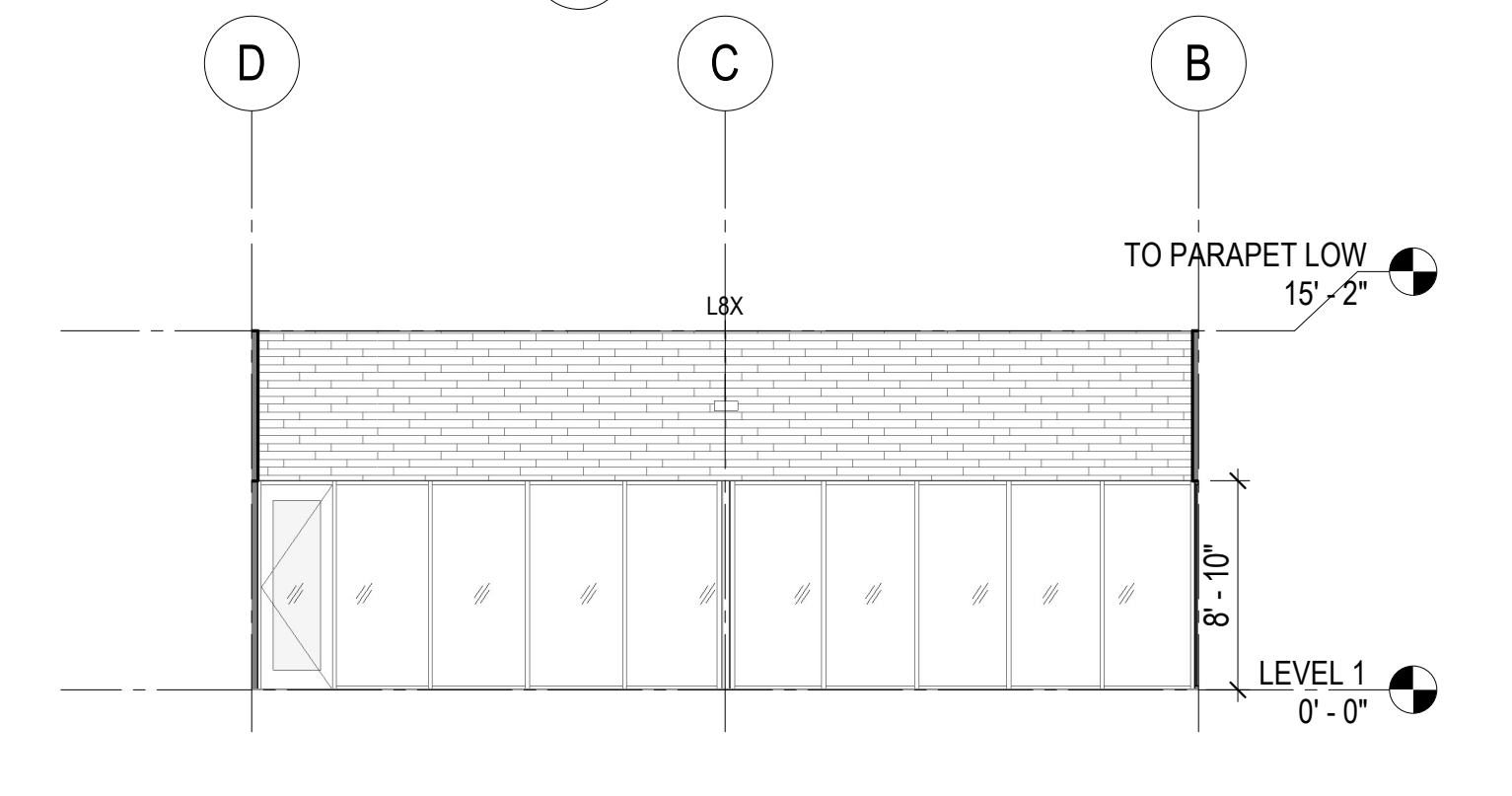
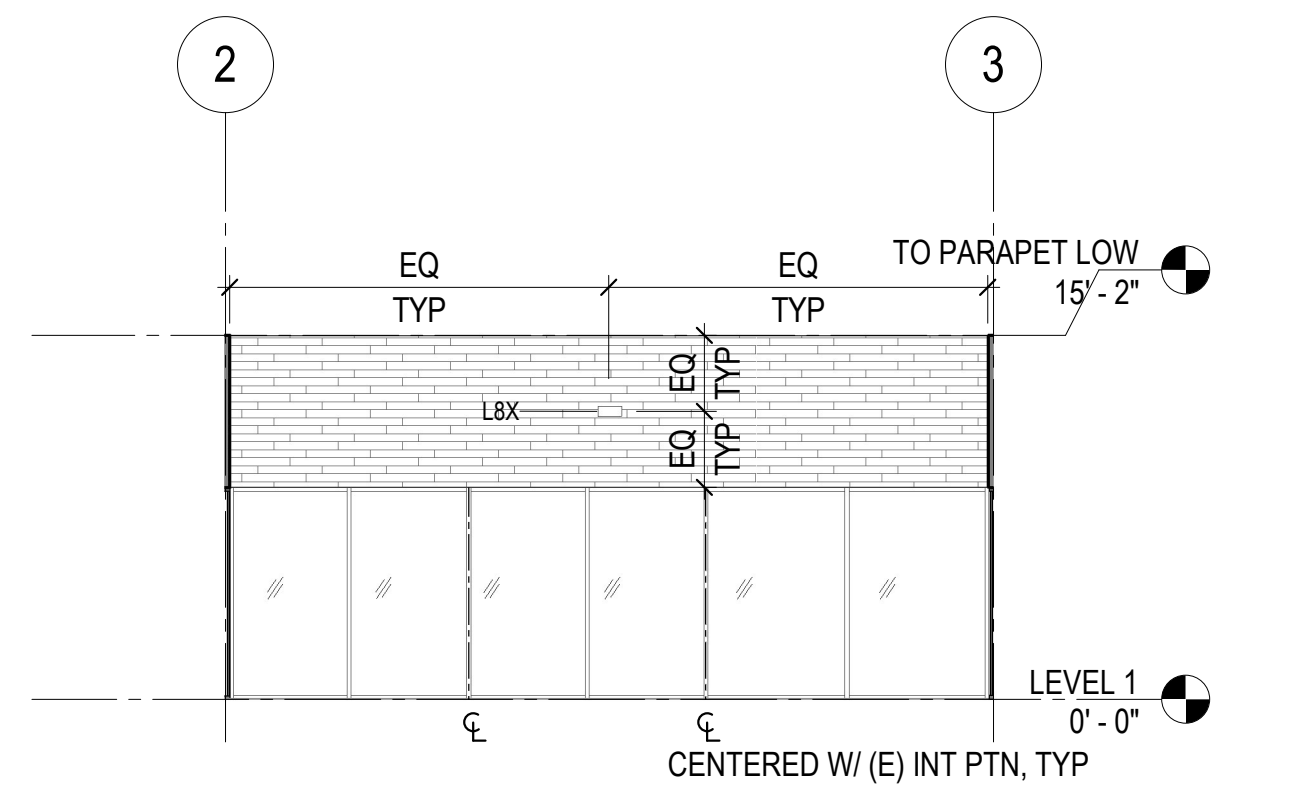
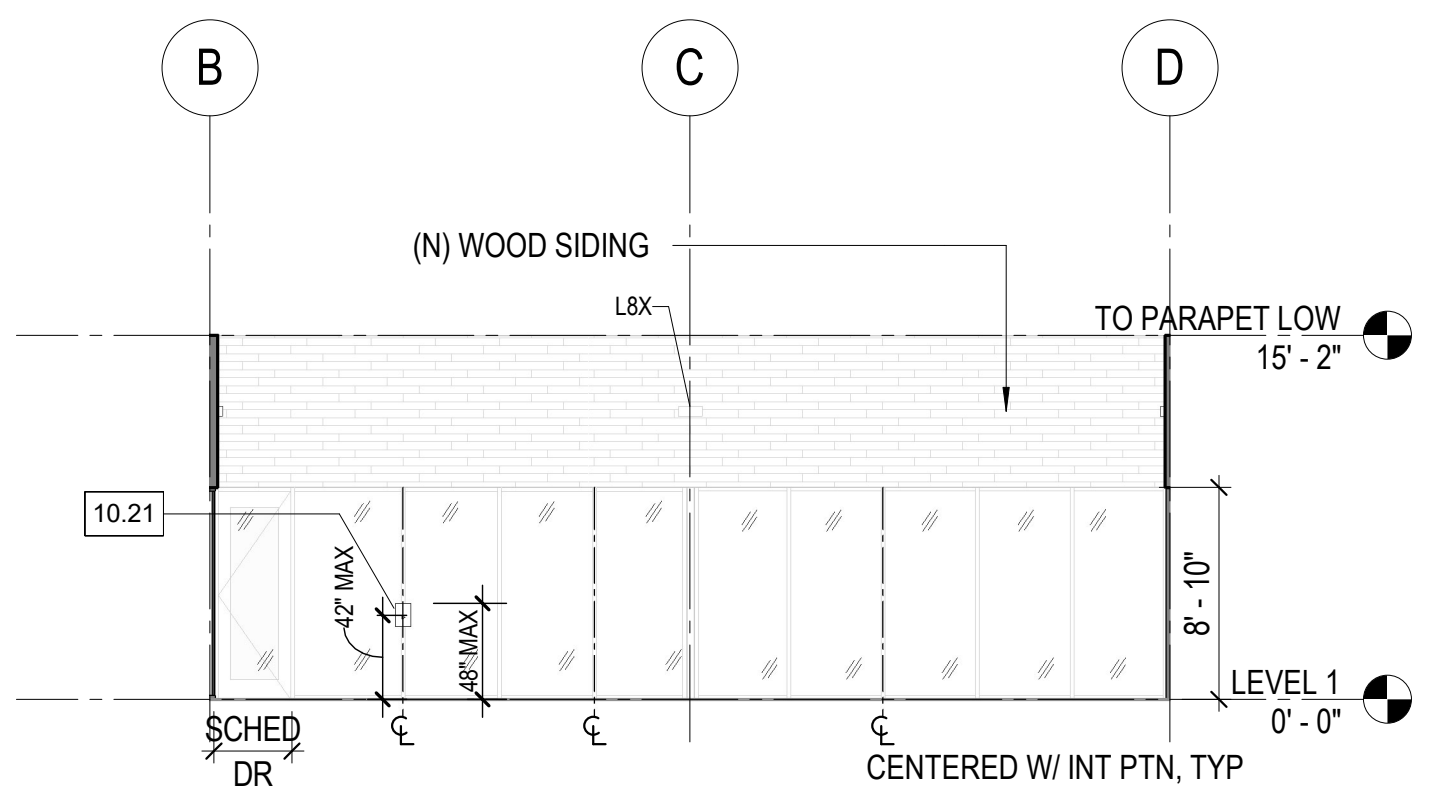
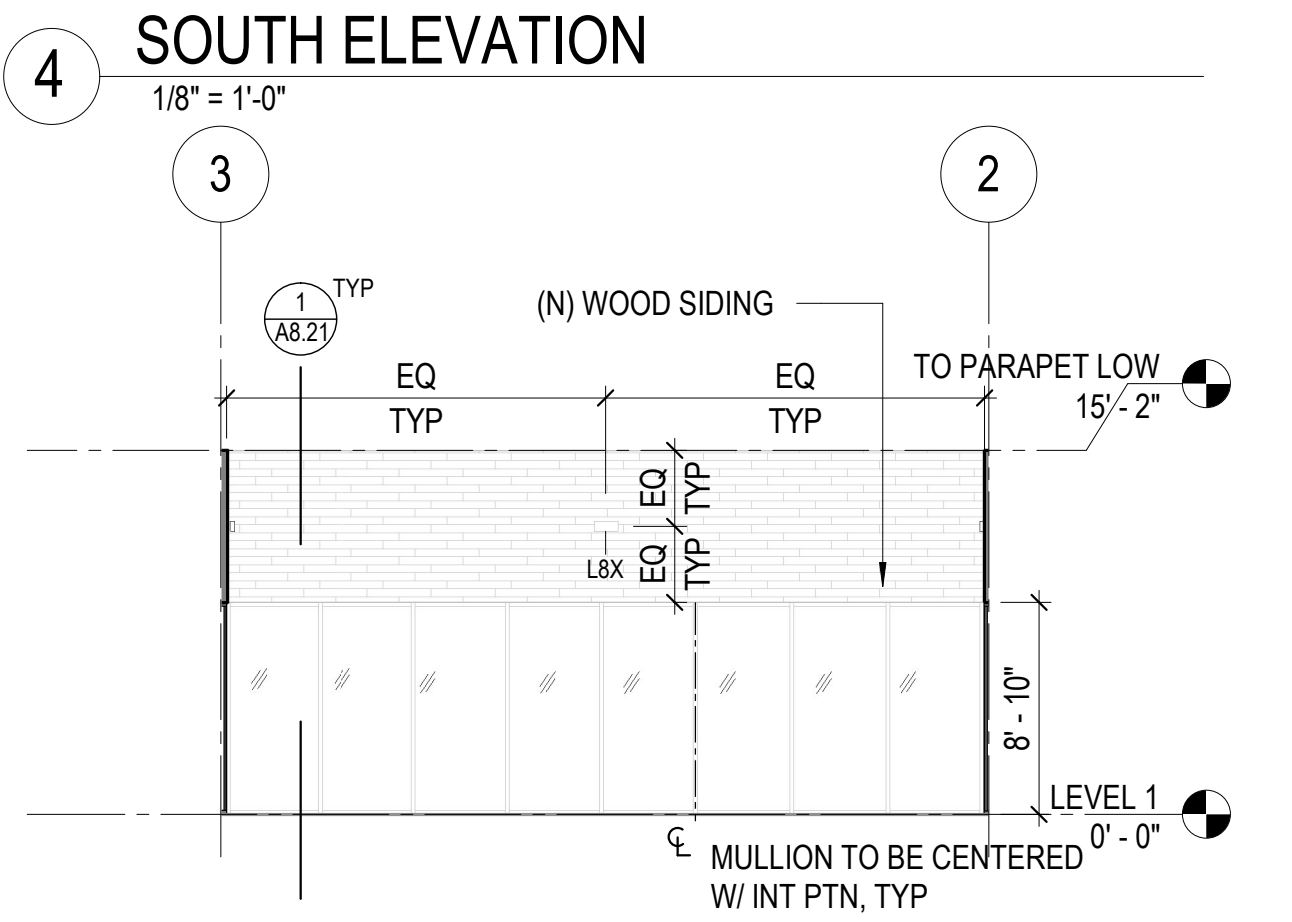
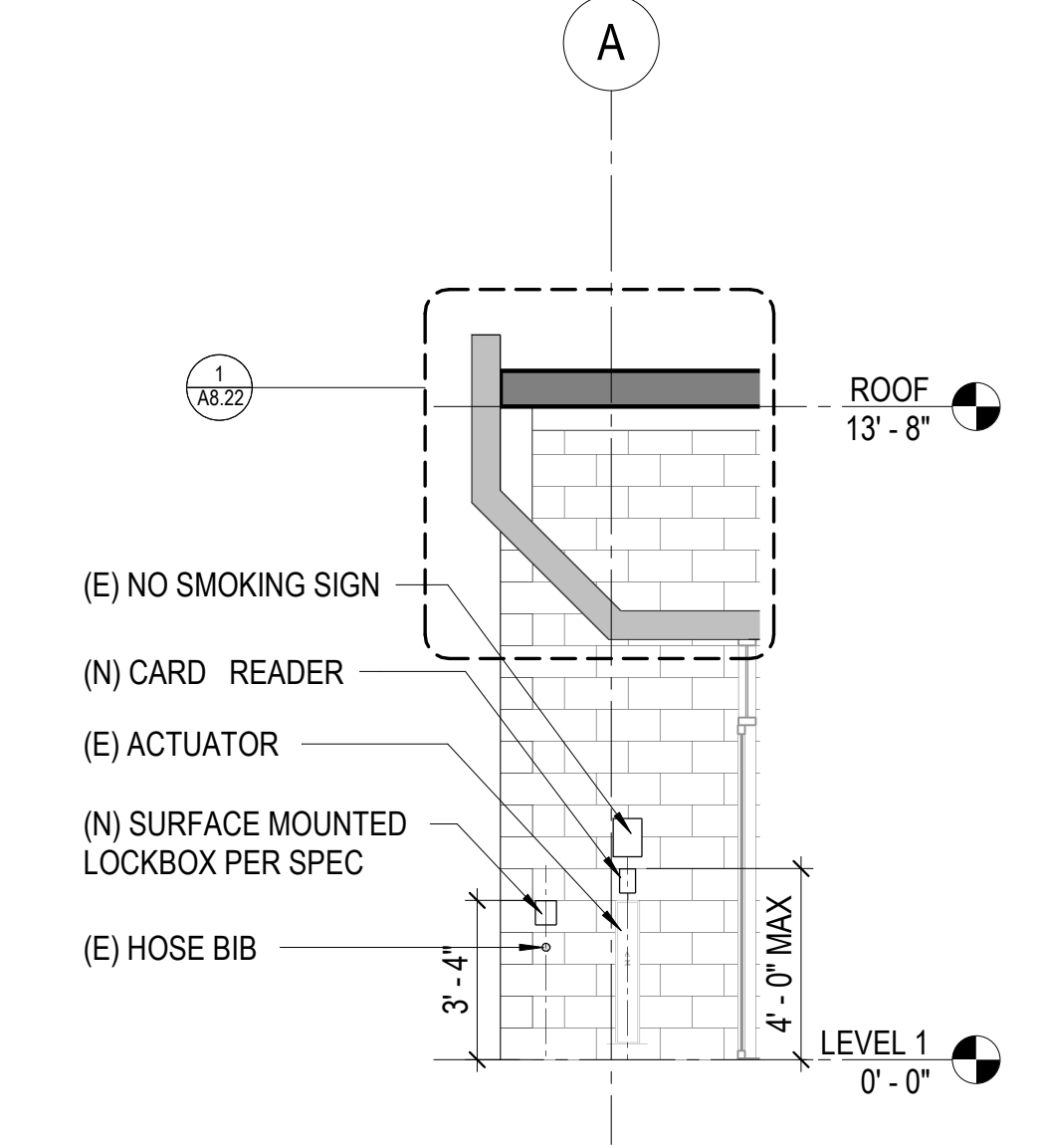
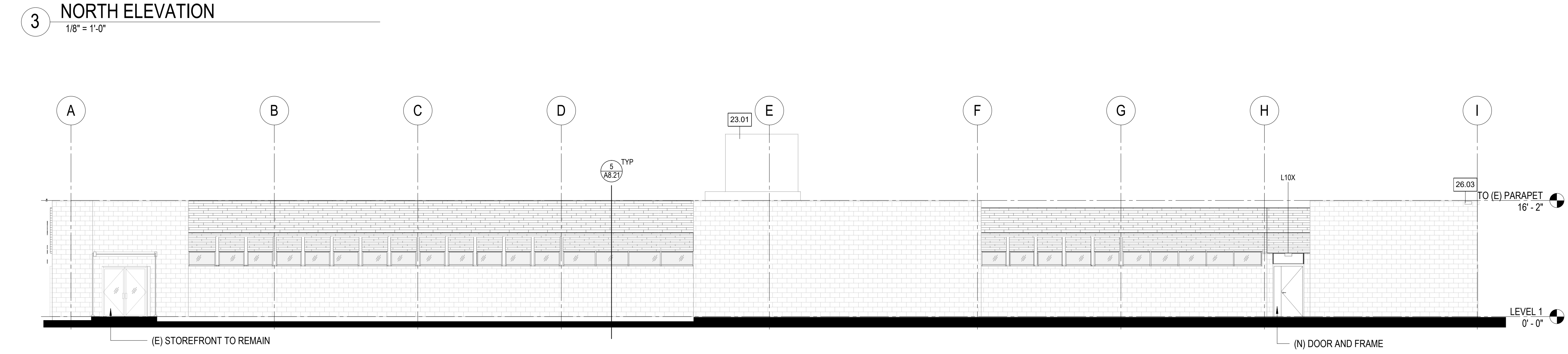
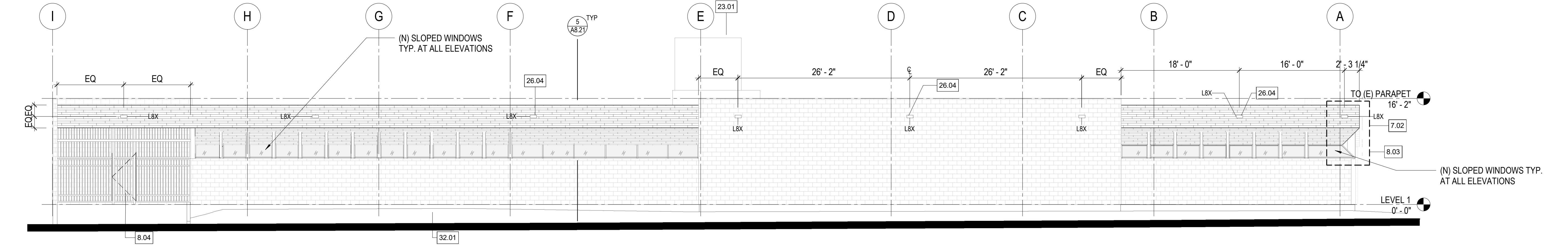
**SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION**

2401 Keith Street, San Francisco, CA

Consultant



4.01	(E) STONE PLAQUE TO REMAIN. PROTECT AND POWER WASH TO CLEAN CMU WALL AND REMOVE AS MUCH RESIDUAL (E) DISCOLORED MORTAR MATERIAL AS POSSIBLE AROUND PLAQUE. VERIFY CLEANED CONDITION WITH CITY REPRESENTATIVE IF ACCEPTABLE TO LEAVE IN PLACE. PROVIDE & INSTALL NEW FRAME TO COVER AROUND (E) PLAQUE FOR ANY REMAINDER (E) DISCOLORED AREA OF CMU WALL.
7.02	PROVIDE FIELD MOCK UP FOR NEW CLADDING PER SPEC
8.03	PROVIDE FIELD MOCK UP FOR WINDOW SYSTEM PER SPEC
8.04	(E) FENCE GATE AND DOOR FOR EXIT ONLY. NO HARDWARE AT EXTERIOR SIDE. SEE DOOR SCHEDULE AND SPEC FOR NEW HARDWARE.
10.21	PROVIDE & INSTALL (N) WEATHERPROOF INTERCOM DEVICE FOR EMERGENCY USE TO PROTRUDE LESS THAN 4". SEE SEC DWG FOR MORE INFO. PROVIDE & INSTALL (N) EXTERIOR MAX OCCUPANCY SIGNAGE. SURFACE MOUNTED. SEE SIGNAGE SCHEDULE.
10.22	MAIN ENTRY SIGNAGE WITH PIN-MOUNTED ALUM LETTERS. SEE DETAILS ON SHEET A10.33.
23.01	(N) AHU WITH NEW CAP FLASHING PER MFR STANDARD OVER (E) CONCRETE PAD, (E) TRANSITION CURB ADAPTER AND (E) ROOF SUPPORT CURB. SMD AND DETAIL 4/A8.22
26.03	(E) EXTERIOR LIGHTING FIXTURE TO REMAIN. FIX BROKEN DOWN ELEMENTS AS REQUIRED
26.04	(N) EXTERIOR LIGHTING FIXTURE. SEE DETAIL SHEET A8.21 AND ELEC DRAWINGS. TYP
32.01	NORTH SIDEWALK LANDSCAPED PLANTING STRIP. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

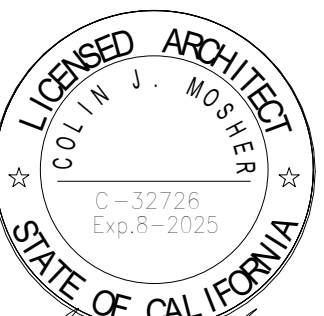


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No.	Date	Revisions

PM	CM
PA	CM
Drawn	Author
Checked	Checker



Drawing Title

EXTERIOR BUILDING ELEVATIONS

Sheet No. **A3.11**

Scale: As indicated

Project No. PW-DPH-2213

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Ron Alameida - City Architect
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SOUTHEAST HEALTH CENTER
PHASE 3 RENOVATION

2401 Keith Street, San Francisco, CA

Consultant

ARMSTRONG AVENUE

SOUTHEAST HEALTH CENTER

KEITH STREET

NEW IRRIGATION LIMIT OF WORK

NEW IRRIGATION ZONE

ESTIMATED P.O.C.
T OFF FROM EXISTING MAINLINE, V.I.F.

CONNECT NEW IRRIGATION MAIN LINE TO
(E) IRRIGATION SYSTEM

(E) BACKFLOW
PREVENTER

(E) IRRIGATION
POINT OF
CONNECTION TO
(E) WATER METER

(E) PARKING LOT

BFP

EXTERIOR
COURTYARD A

EXTERIOR
COURTYARD B

EXISTING CLINIC

EXISTING WAREHOUSE

1332

(E) CONTROLLER
LOCATED IN M.D.F. ROOM
#152, FIRST FLOOR

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 PA _____ KP _____
 Drawn _____ CR _____
 Checked _____



Drawing Title

IRRIGATION PLAN

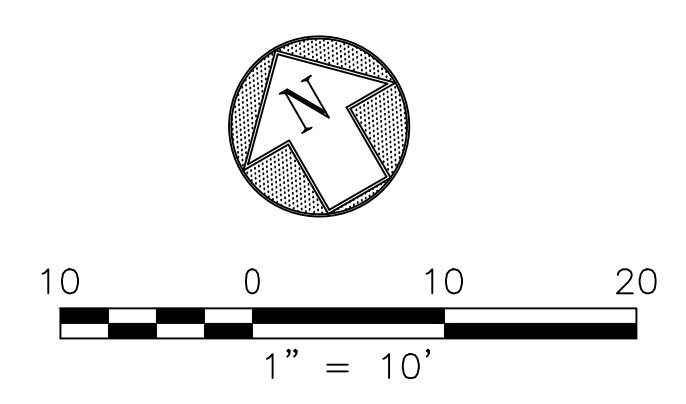
Sheet No.

L 2.0

Scale:

Project No.

PW-DPH-2213



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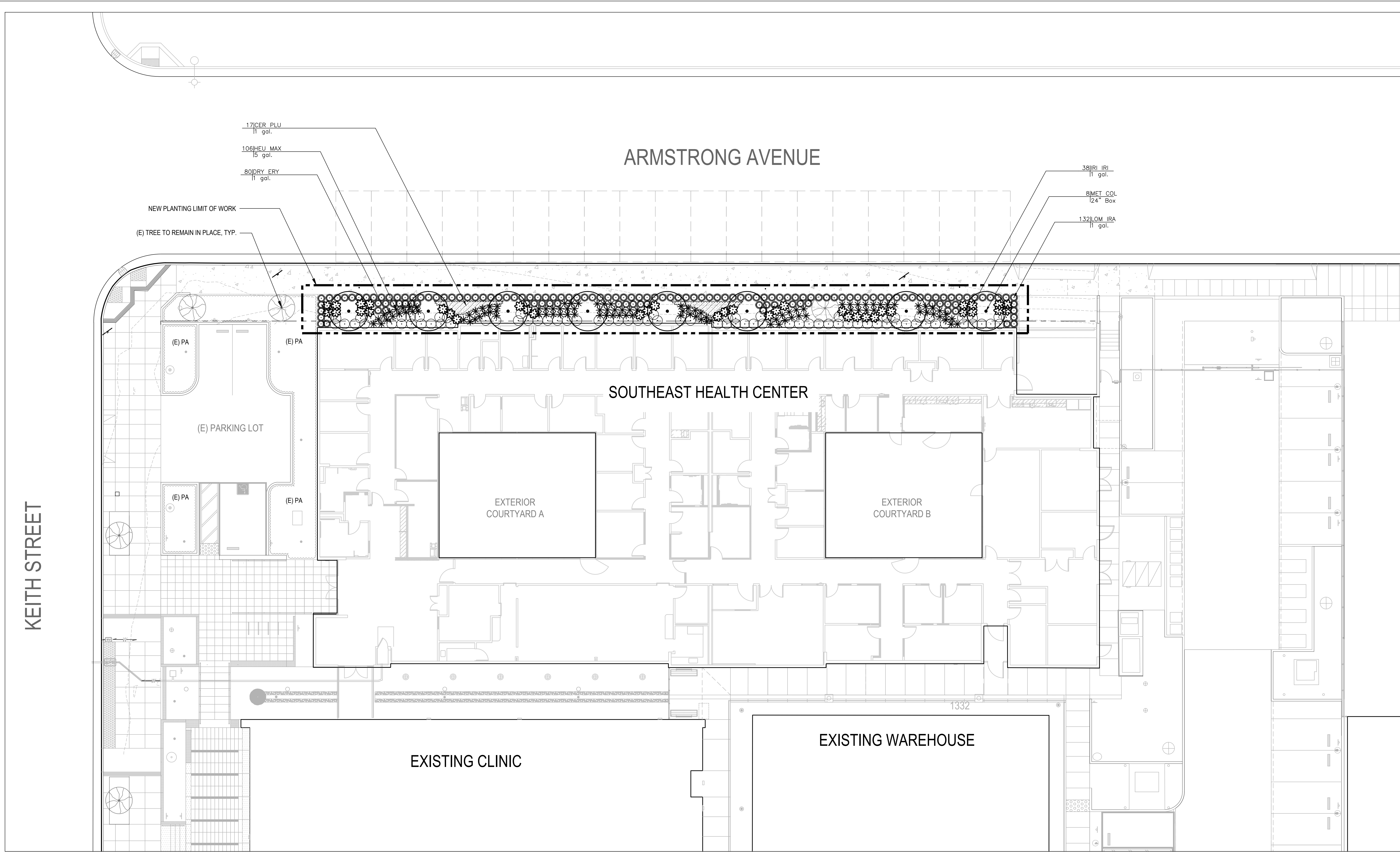
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 49 South Van Ness Ave., Suite 1100, San Francisco, CA 94103
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**SOUTHEAST HEALTH CENTER
 PHASE 3 RENOVATION**

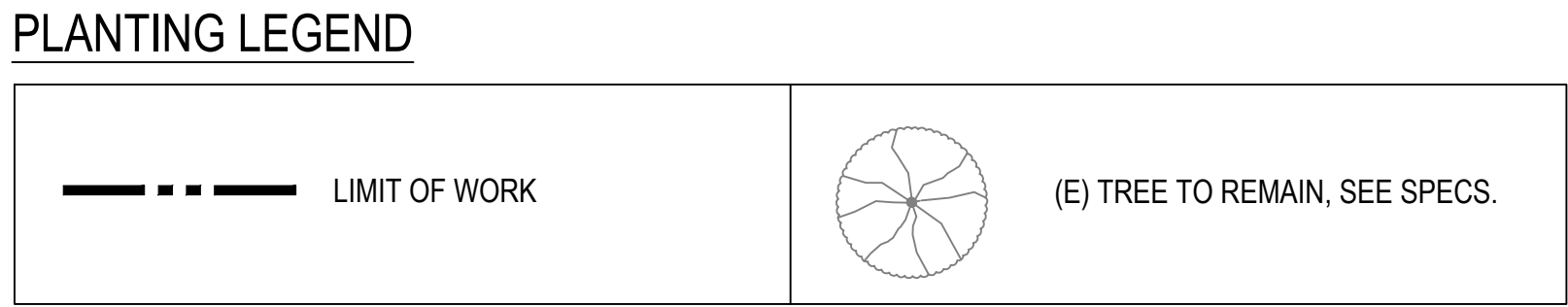
2401 Keith Street, San Francisco, CA

Consultant

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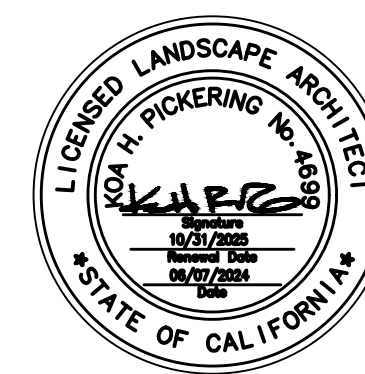
PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES					
	MET COL	METROSIDEROS COLLINA 'SPRINGFIRE'	SPRINGFIRE CHRISTMAS BUSH	24" BOX	8
SHRUBS					
	DRY ERY	DRYOPTERIS ERYTHROSORA	AUTUMN FERN	1 GAL. 30" o.c.	80
	HEU MAX	HEUCHERA MAXIMA	ISLAND ALUM ROOT	5 GAL. 24" o.c.	107
	IRI IRI	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL. 30" o.c.	38
	LOM IRA	LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE™ MAT RUSH	1 GAL. 24" o.c.	132
SHRUB AREAS					
	CER PLU	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO	1 GAL. 24" o.c.	17



BID SET 6/7/2024

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Drawing Title

PLANTING PLAN

Sheet No. **L 3.0**

Project No. **PW-DPH-2213**

